

State of Illinois) SS
Belvidere, Illinois)

BELVIDERE CITY COUNCIL
REGULAR MEETING
AGENDA

May 15, 2023

Convened in the Council Chambers, 401 Whitney Blvd, Belvidere IL at 7:00 p.m.
Mayor Morris presiding.

(1) Roll Call:

(2) Pledge of Allegiance:
Invocation:

(3) Public Comment: (Please register with the City Clerk):

(4) Approval of Minutes:

(A) Approval of minutes of the regular meeting of the Belvidere City Council of
May 1, 2023; as presented.

(5) Public Hearing: None.

(6) Special Messages and Proclamations:

- (A) National Police Week Proclamation.
- (B) Growth Dimensions.
- (C) IDA Public Library.

(7) Approval of Expenditures: General & Special Fund Expenditures: \$1,854,888.08
Water & Sewer Fund Expenditures: \$723,664.20

(8) Committee Reports and Minutes of City Officers:

- (A) Monthly Report of Belvidere Police Department Overtime Pay for April 2023.
- (B) Monthly Report of Belvidere Fire Department Overtime Pay for April 2023.
- (C) Monthly Report of Community Development Department/Planning Department for April 2023.
- (D) Monthly Report of Building Department Revenues, Residential Building Permits and Case Reports for April 2023.
- (E) Monthly General Fund Report for April 2023.
- (F) Monthly Water/Sewer Fund Report April 2023.
- (G) Monthly CD Investments for April 2023.
- (H) Minutes of Planning and Zoning Commission of May 9, 2023.
- (I) Minutes of Committee of the Whole – Building, Planning and Zoning and Public Works of May 8, 2023.

(9) Unfinished Business:

- (A) Ord. #626H – 2nd Reading: An Ordinance Authorizing the Sale of Certain Personal Property (Police Department Vehicles).

(10) New Business:

- (A) Ord. #627H – 1st Reading: An Ordinance Approving A Final Plat Titled Crosslink Business Park No. 2 Subdivision.
- (B) Ord. #628H – 1st Reading: An Ordinance Granting A Special Use to Allow Indoor Commercial Entertainment Within the PB, Planned Business District. (1868 Crystal Parkway).
- (C) Ord. #629H – 1st Reading: An Ordinance Amending Section 110-92, Yield Intersections, of the City of Belvidere Municipal Code to Add Grover St. and Biester Dr. as Two-Way Yield.

Motions forwarded from Committee of the Whole – Building, Planning and Zoning and Public Works of May 8, 2023.

Motions of Planning & Zoning – Chairman Mike McGee:

- (A) Motion to consent to and approve the appointment of Kim Coniglio to the Belvidere Historic Preservation Commission for a three-year term, ending in April 30, 2026.

Motions of Public Works – Chairman Daniel Snow:

- (B) Motion to approve the 2023 Street Maintenance Program as proposed in the memo dated May 4, 2023.
- (C) Motion to approve the low bid from Northern Illinois Service, in the amount of \$706,478.50, for the Irene - Hawkey 16” water main extension. This work will be paid for from Line Item #61-4-810-4510, Connection Fees and DCEO Grant Funds.
- (D) Motion to approve of the proposal from CES, Inc, in an amount not-to-exceed \$105,200.00, to complete the construction engineering for the Irene Road Realignment Project. This work will be paid for from capital funds with reimbursement from grant funds.

Motions of Public Safety – Chairman Matt Fleury:

- (E) Motion to outfit 160 for ALS and Water Rescue Response not to exceed \$16,500.00 to be paid for out of the Capital Fund.

(F) Motion to approve the low bid from Window World to replace 5 windows at Fire Station 1 at a cost of \$6,252.00 to be paid for out of line item 01-05-220-6010.

(G) Motion to approve the Corpus Christi Procession parade permit request from St. James Catholic Church for June 11, 2023.

(11) Adjournment:

State of Illinois) SS
Belvidere, Illinois)

BELVIDERE CITY COUNCIL
REGULAR MEETING
MINUTES

Date: May 1, 2023

Convened in the Belvidere Council Chambers, 401 Whitney Blvd, Belvidere Illinois
at 7:00 p.m.

Call to order by Mayor Morris.

(1) Roll Call: Present: Brereton, Fleury, Frank, Freeman, McGee, Mulhall, Porter,
Prather, Snow and Stevens.

Absent: None.

Other staff members in attendance:

Public Works Director Brent Anderson, Fire Chief Shawn Schadle, Police Chief Shane
Woody, Director of Buildings Kip Countryman, Community Development Planner Gina
DelRose, Budget and Finance Officer Shannon Hansen, City Attorney Mike Drella and
City Clerk Sarah Turnipseed.

(2) Pledge of Allegiance:
Invocation: Mayor Morris.

(3) Public Comment:

Mayor Morris commented that a copy of the Belvidere Police
Department's 2022 Annual Report was in this week's council
packets.

Fire Chief Shawn Schadle introduced Metro Paramedic Service
and their staff.

(4) Approval of Minutes:

(A) Approval of minutes of the regular meeting of the Belvidere City Council of
April 17, 2023; as presented.

Motion by Ald. Prather, 2nd by Ald. Mulhall to approve the minutes of the regular
meeting of the Belvidere City Council of April 17, 2023. Aye voice vote carried.
Motion carried.

Belvidere City Council

May 1, 2023

(5) Public Hearing: None.

(6) Special Messages and Proclamations:

(A) Recognition of Ald. Clayton Stevens.

(B) Oaths of Office for Newly Elected Officials – Aldermen Albertini, Snow, Frank, McGee and Brereton.

(C) Proclamation for National Day of Prayer presented to Fred Brereton.

(D) Committee Appointments.

Omnibus motion by Ald. Prather, 2nd by Ald. Fleury to approve and consent to the appointments identified in the memo dated April 27, 2023, from Mayor Morris. Aye voice vote carried. Motion carried.

(7) Approval of Expenditures: None.

(8) Committee Reports and Minutes of City Officers:

(A) Approval of the Minutes of Committee of the Whole – Public Safety, Finance & Personnel of April 24, 2023; as presented.

Motion by Ald. Snow, 2nd by Ald. Fleury to approve the minutes of Committee of the Whole – Public Safety, Finance & Personnel of April 24, 2023. Aye voice vote carried. Motion carried.

(9) Unfinished Business: None.

(10) New Business:

(A) Ord. #626H – 1st Reading: An Ordinance Authorizing the Sale of Certain Personal Property (Police Department Vehicles).

Let the record show Ordinance #626H was placed on file for first reading.

(B) Res. #2023-15 – A Resolution Authorizing the Mayor to Execute an Agreement Between the City of Belvidere and Houseal Lavigne Associates, LLC for Consultant Services related to the Comprehensive Plan.

Motion by Ald. Prather, 2nd by Ald. Frank to adopt Res. #2023-15. Roll Call Vote: 10/0 in favor. Ayes: Albertini, Brereton, Fleury, Frank, Freeman, McGee, Mulhall, Porter, Prather and Snow. Nays: None. Motion carried.

Motions forwarded from Committee of the Whole – Public Safety, Finance & Personnel of April 24, 2023.

- (A) Motion to authorize Detective KC Brox to carryover 19 hours, Sergeant David Bird to carryover 37.25 hours and Officer Jonathan Hernandez to carryover 24 hours of unused vacation/holiday time, from FY23 to FY24. Roll Call Vote: 10/0 in favor. Ayes: Brereton, Fleury, Frank, Freeman, McGee, Mulhall, Porter, Prather, Snow and Albertini. Nays: None. Motion carried.
- (B) Motion to authorize Firefighter Cory Mitchell to carryover 72 hours and Firefighter Nic Thornton to carryover 48 hours of unused vacation/holiday time, from FY23 to FY24. Roll Call Vote: 10/0 in favor. Ayes: Fleury, Frank, Freeman, McGee, Mulhall, Porter, Prather, Snow, Albertini and Brereton. Nays: None. Motion carried.
- (C) Motion to authorize hiring one full time non-sworn Fire Department Inspector. Discussion took place concerning position and salary. Roll Call Vote: 10/0 in favor. Ayes: Frank, Freeman, McGee, Mulhall, Porter, Prather, Snow, Albertini, Brereton and Fleury. Nays: None. Motion carried.
- (D) Motion to authorize filling the upcoming firefighter vacancy on or after May 15, 2023. Discussion took place concerning candidate and hiring process. Roll Call Vote: 10/0 in favor. Ayes: Freeman, McGee, Mulhall, Porter, Prather, Snow, Albertini, Brereton, Fleury and Frank. Nays: None. Motion carried.
- (E) Motion to approve the Special Olympic Athlete's parade permit request from the Belvidere Township Park District for May 22, 2023. Roll Call Vote: 10/0 in favor. Ayes: McGee, Mulhall, Porter, Prather, Snow, Albertini, Brereton, Fleury, Frank and Freeman. Nays: None. Motion carried.
- (F) Motion to approve the Block Party Request to close Cloverdale Way from Huntington Dr. to Fairfield Trl. on May 28, 2023 from 2:00p.m. to 10:00p.m. Roll Call Vote: 10/0 in favor. Ayes: Mulhall, Porter, Prather, Snow, Albertini, Brereton, Fleury, Frank, Freeman and McGee. Nays: None. Motion carried.
- (G) Motion to approve the Block Party Request to close E. 4th Street from Caswell Street to Fremont Street on June 10th from 12:00p.m. to 8:00p.m. Roll Call Vote: 10/0 in favor. Ayes: Porter, Prather, Snow, Albertini, Brereton, Fleury, Frank, Freeman, McGee and Mulhall. Nays: None. Motion carried.

- (H) Motion to enter into an agreement with Lakeland Biologists for the 2023 Farmington Ponds Maintenance Program at an estimated cost of \$16,000.00. This work will be paid for from the Farmington Ponds Special Service Areas. Roll Call Vote: 10/0 in favor. Ayes: Prather, Snow, Albertini, Brereton, Fleury, Frank, Freeman, McGee, Mulhall and Porter. Nays: None. Motion carried.

- (I) Motion to approve the low bid from BelRock Asphalt Paving, in the amount of \$9,672.02, for paving of the new basketball court at General Mills Park. This work will be paid from the \$25,000.00 grant from General Mills. Roll Call Vote: 10/0 in favor. Ayes: Snow, Albertini, Brereton, Fleury, Frank, Freeman, McGee, Mulhall, Porter and Prather. Nays: None. Motion carried.

- (J) Motion to approve the 2023 Outdoor Warning Siren System Annual Preventive Maintenance Agreement with Braniff Communications in the amount \$6,030.00. Roll Call Vote: 10/0 in favor. Ayes: Albertini, Brereton, Fleury, Frank, Freeman, McGee, Mulhall, Porter, Prather and Snow. Nays: None. Motion carried.

(11) Adjournment:

Motion by Ald. Frank, 2nd by Ald. Albertini to adjourn meeting at 7:57p.m. Aye voice vote carried. Motion carried.

Mayor

Attest: _____
City Clerk



Proclamation

WHEREAS, in 1962, President John F. Kennedy and Congress designated May 15th as National Peace Officers Memorial Day, and the week in which it falls as National Police Week; AND

WHEREAS, the members of the Police Department of the City of Belvidere play an essential role in safeguarding the rights and freedoms of the citizens of Belvidere; AND

WHEREAS, it is important that all citizens know and understand the problems, duties and responsibilities of their police department, and that members of our police department recognize their duty to serve the people by safeguarding life and property, by protecting them against violence or disorder, and by protecting the innocent against deception and the weak against oppression or intimidation; AND

WHEREAS, the police department of the City of Belvidere has grown to be a modern and scientific law enforcement agency which unceasingly provides a vital public service; AND

NOW, THEREFORE I, Mayor of the City of Belvidere, call upon all citizens of Belvidere and upon all patriotic, civil and educational organizations to observe the week of May 14 through May 20 as

National Police Week

in which all of our people may commemorate police officers, past and present, who by their faithful and loyal devotion to their responsibilities have rendered a dedicated service to their communities and, in doing so, have established for themselves an enviable and enduring reputation for preserving the rights and security of all citizens.

I FURTHER call upon all citizens of Belvidere to observe May 15, 2023, as National Peace Officers Memorial Day in honor of those peace officers who, through their courageous deeds, have lost their lives or have become disabled in the performance of duty.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of the City of Belvidere to be affixed this 15th day of May, 2023.

Clinton Morris
Mayor of Belvidere



Bills Payable Summary
DATE OF PAYABLES

May 15, 2023

General Fund	\$1,623,558.74
Envision Healthcare (JE)	\$16,905.07
ADP Payroll Fees (JE)	\$1,732.95
Special Funds:	
Farmington Ponds SSA#2	\$1,548.81
Farmington Ponds SSA#3	\$1,850.18
Capital	\$47,052.45
MFT	\$8,537.37
TIF	\$0.00
Escrow	\$153,702.51
Total General & Special Funds:	\$1,854,888.08
Water & Sewer:	\$723,664.20
Total of all Funds	\$2,578,552.28

Police Department	Start Date	End Date	Effective as of	Pay Date	Overnight Earnings Total	Overtime Hours Total	ACT Police OT Earnings	ACT Police OT Hours	DBL - DoubleTime earnings	DBL - DoubleTime	Overnight Rate Paid
Police Department	04/01/2023	04/30/2023	04/01/2023								
Home Department Profile - Effective Date											
Home Department Description											
PAYROLL NAME											
Bill, Michael H	04/14/2023	04/14/2023		\$420.76	8.00	\$0.00	0.00	\$0.00	0.00	0.00	\$70.13
Bill, Michael H	04/28/2023	04/28/2023		\$0.00	0.00	\$136.24	2.00	\$0.00	0.00	0.00	\$70.13
Bill, Jeremy	04/28/2023	04/28/2023		\$420.76	8.00	\$0.00	0.00	\$0.00	0.00	0.00	\$70.13
Binkenship, Timothy	04/14/2023	04/14/2023		\$464.44	7.50	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Binkenship, Timothy	04/29/2023	04/29/2023		\$577.33	9.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Bigdonas, Michelle A	04/14/2023	04/14/2023		\$390.51	16.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Danielak, Joseph W	04/29/2023	04/29/2023		\$211.08	4.00	\$0.00	0.00	\$0.00	0.00	0.00	\$52.77
Danielak, Joseph W	04/14/2023	04/14/2023		\$109.55	2.00	\$0.00	0.00	\$0.00	0.00	0.00	\$46.78
Davis, Matthew T	04/14/2023	04/14/2023		\$654.67	14.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Delaveni, Thomas S	04/29/2023	04/29/2023		\$1,146.63	18.50	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Delaveni, Thomas S	04/14/2023	04/14/2023		\$123.85	2.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Dery, Paul D	04/29/2023	04/29/2023		\$420.76	6.00	\$0.00	0.00	\$0.00	0.00	0.00	\$70.13
Dery, Paul D	04/14/2023	04/14/2023		\$561.01	8.00	\$0.00	0.00	\$0.00	0.00	0.00	\$70.13
Ellingson, David	04/14/2023	04/14/2023		\$74.07	12.50	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Garcia, Christopher R	04/14/2023	04/14/2023		\$791.60	15.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Jones, Anthony M.	04/14/2023	04/14/2023		\$444.38	9.50	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Jones, Anthony M.	04/29/2023	04/29/2023		\$187.71	4.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Jones, Thomas S	04/14/2023	04/14/2023		\$866.96	14.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Jones, Thomas S	04/29/2023	04/29/2023		\$185.78	3.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Kirk, Julie A	04/14/2023	04/14/2023		\$433.48	7.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Kirk, Julie A	04/29/2023	04/29/2023		\$619.26	10.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Korn, Matthew D	04/14/2023	04/14/2023		\$791.60	15.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Kozlowski, Robert E	04/14/2023	04/14/2023		\$1,331.41	21.50	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Kozlowski, Robert E	04/29/2023	04/29/2023		\$247.70	4.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Lane, Cory T	04/14/2023	04/14/2023		\$621.74	15.00	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Mc Dermott, Joseph M	04/14/2023	04/14/2023		\$219.14	4.00	\$0.00	0.00	\$0.00	0.00	0.00	\$54.78
Mears, Adam M	04/29/2023	04/29/2023		\$657.71	13.00	\$0.00	0.00	\$0.00	0.00	0.00	\$50.59
Mears, Adam M	04/14/2023	04/14/2023		\$101.19	2.00	\$0.00	0.00	\$0.00	0.00	0.00	\$50.59
Rackley, Dillon Robert	04/29/2023	04/29/2023		\$480.53	9.50	\$0.00	0.00	\$0.00	0.00	0.00	\$50.59
Schwartz, Julie	04/14/2023	04/14/2023		\$30.96	0.50	\$0.00	0.00	\$0.00	0.00	0.00	\$50.59
Schwartz, Michelle	04/14/2023	04/14/2023		\$278.67	4.50	\$0.00	0.00	\$0.00	0.00	0.00	\$61.93
Smith, Daniel S	04/14/2023	04/14/2023		\$1,227.21	17.50	\$0.00	0.00	\$0.00	0.00	0.00	\$70.13
Smith, Zachary	04/14/2023	04/14/2023		\$354.15	7.00	\$0.00	0.00	\$0.00	0.00	0.00	\$50.59
Zapl, Richard M	04/14/2023	04/14/2023		\$1,541.63	28.00	\$0.00	0.00	\$0.00	0.00	0.00	\$112.16
Zapl, Richard M	04/29/2023	04/29/2023		\$631.15	11.00	\$0.00	0.00	\$0.00	0.00	0.00	\$57.38
Grand Totals				\$19,655.42	334.50	\$136.24	2.00	\$0.00	0.00	0.00	

Fire Overtime Report April 2023

Pay Periods 3-25-23/4-21-23

Home Department Description	Payroll Name	Date	Overtime Hours	Timecard Work Field 1	Labor Field 1
FIRE	Beck, Mark E	3/29/2023	7	Inspections	
FIRE	Beck, Mark E	3/31/2023	17	Fire Dept Shift Coverage	
FIRE	Beck, Mark E	4/4/2023	7	Inspections	
FIRE	Beck, Mark E	4/10/2023	11.5		
FIRE	Beck, Mark E	4/12/2023	5	Teams	
FIRE	Beck, Mark E	4/18/2023	5.5	Public Education	
Totals for Payroll Name Beck, Mark E			53		
Total					
FIRE	Burdick, David	4/17/2023	2	Administration	
Totals for Payroll Name Burdick, David			2		
Total					
FIRE	Drall, Daniel C	4/1/2023	12	Fire Dept Shift Coverage	
FIRE	Drall, Daniel C	4/6/2023	3	Additional Manpower	
FIRE	Drall, Daniel C	4/9/2023	24	Fire Dept Shift Coverage	
Totals for Payroll Name Drall, Daniel C			39		
Total					
FIRE	Ellwanger, Adam A	4/1/2023	6.45	Additional Manpower	
Totals for Payroll Name Ellwanger, Adam A			6.45		
Total					
FIRE	Erber, Joseph D	3/31/2023	3.25	Additional Manpower	
FIRE	Erber, Joseph D	4/5/2023	3	Teams	
FIRE	Erber, Joseph D	4/15/2023	5	Teams	
Totals for Payroll Name Erber, Joseph D			11.25		
Total					

FIRE		Fox, Kevin W	4/12/2023	3	Administration
Totals for Payroll Name Fox, Kevin W					
Total				3	
FIRE		Gunsteen, Robert J	3/31/2023	4	Additional Manpower
Totals for Payroll Name Gunsteen, Robert J					
Total				4	
FIRE		Heiser, Bradley D	3/31/2023	4.15	Additional Manpower
Totals for Payroll Name Heiser, Bradley D					
Total				4.15	
FIRE		Herman, Ronald D	3/31/2023	3	Additional Manpower
FIRE		Herman, Ronald D	4/15/2023	5.75	Teams
Totals for Payroll Name Herman, Ronald D					
Total				8.75	
FIRE		Kriebs, James J	4/5/2023	3	Inspections
FIRE		Kriebs, James J	4/7/2023	3	Additional Manpower
Totals for Payroll Name Kriebs, James J					
Total				6	
FIRE		Letourneau, Christopher R	3/31/2023	6.5	Additional Manpower
Totals for Payroll Name Letourneau, Christopher R					
Total				6.5	
FIRE		Mead, Stephen C	3/25/2023	5	Teams
FIRE		Mead, Stephen C	3/31/2023	4	Additional Manpower
FIRE		Mead, Stephen C	4/12/2023	2	Additional Manpower
FIRE		Mead, Stephen C	4/15/2023	5	Teams
Totals for Payroll Name Mead, Stephen C					
Total				16	

FIRE	Mitchell, Cory	3/31/2023	4	Additional Manpower
FIRE	Mitchell, Cory	4/15/2023	12	Fire Dept Training
FIRE	Mitchell, Cory	4/17/2023	11.5	Fire Dept Training
Totals for Payroll Name Mitchell, Cory			27.5	
Total				

FIRE	Pavlatos, Gregory R	4/5/2023	3	Teams
FIRE	Pavlatos, Gregory R	4/13/2023	5	Public Education
Totals for Payroll Name Pavlatos, Gregory R			8	
Total				

FIRE	Pihl, Aaron R	3/31/2023	4	Additional Manpower
Totals for Payroll Name Pihl, Aaron R			4	
Total				

FIRE	Swanson, Jason	3/31/2023	5.5	Additional Manpower
Totals for Payroll Name Swanson, Jason			5.5	
Total				

FIRE	Tangye, Travis N	4/1/2023	12	Fire Dept Shift Coverage
FIRE	Tangye, Travis N	4/4/2023	24	Fire Dept Shift Coverage
FIRE	Tangye, Travis N	4/7/2023	3	Additional Manpower
Totals for Payroll Name Tangye, Travis N			39	
Total				

FIRE	Thornton, Nicolas J	3/26/2023	8	Fire Dept Training
FIRE	Thornton, Nicolas J	4/1/2023	5.15	Additional Manpower
FIRE	Thornton, Nicolas J	4/1/2023	10.5	Additional Manpower
FIRE	Thornton, Nicolas J	4/1/2023	2	Administration
FIRE	Thornton, Nicolas J	4/19/2023	2	Fire Dept Training
Totals for Payroll Name Thornton, Nicolas J				

Total

27.65

FIRE

Vandenbroek, Troy Abraham

3/25/2023

5.5

Teams

FIRE

Vandenbroek, Troy Abraham

3/31/2023

4

Additional Manpower

Totals for Payroll Name Vandenbroek, Troy Abraham

9.5

FIRE

Vaughan, Jeffery C

3/27/2023

2

Fire Dept Shift Coverage

FIRE

Vaughan, Jeffery C

4/17/2023

2

Inspections

Totals for Payroll Name Vaughan, Jeffery C

4

FIRE

Williams, Glenn F

3/25/2023

8

Fire Dept Training

FIRE

Williams, Glenn F

4/16/2023

8

Totals for Payroll Name Williams, Glenn F

16

FIRE

Winnie, Todd J

3/25/2023

8

Fire Dept Training

FIRE

Winnie, Todd J

3/28/2023

2

Additional Manpower

FIRE

Winnie, Todd J

3/31/2023

4.5

Additional Manpower

FIRE

Winnie, Todd J

4/5/2023

3.5

Teams

FIRE

Winnie, Todd J

4/12/2023

2

Additional Manpower

FIRE

Winnie, Todd J

4/14/2023

2

Additional Manpower

Totals for Payroll Name Winnie, Todd J

22

Total

323.25

Grand Totals

Total

BELVIDERE
Community Development Department
Planning Department

401 Whitney Boulevard, Suite 300, Belvidere, Illinois, 61008 (815) 547-7177 FAX (815) 547-0789

April 2023 Monthly Report

Number	Project	Description	Processed
Belvidere Projects			
0	Cases: April	None	
2	Cases: May	Crosslink Business Park No 2. FP 1868 Crystal Parkway, SU	4/1/2023 4/14/2023
0	Annexation	None	
1	Temporary Uses	Welcome to Spring Festival 23, 400 w. Chrysler Dr	3/14/2023
2	Site Plans (New/Revised)	1615 N. State Street, Kune's Project Yukon	4/14/2023 4/20/2023
0	Final Inspection	None	
1	Downtown Overlay Review	225 N. State Street, wall sign	4/4/2023
0	Prepared Zoning Verification Letters	None	
0	Issued Address Letters	None	
	Belvidere Historic Preservation Commission	The Commission discussed future fundraisers, award acknowledgements and reviewed Chapter 4 of the 10 Year Plan. Staff met with the founder of the Historic US Route 20 Association to discuss marketing.	
	Heritage Days	Staff continues to confirm activities, sponsorships and marketing.	
	Hometown Christmas	None	
Scanned Plats: E-mail, Print and/or Burn			
0	Recorder's Office		
0	Other Department		
0	General Public		

Planning Department Current Duties

- Close out completed planning case files
- Respond to all FOIA requests
- Work with 911, Fire Department and Post Office to verify all addresses in the City
- Assist Growth Dimensions with requested data
- Meetings and phone calls with developers regarding potential development
- Phone calls/walk-ins for questions regarding zoning, floodplain, development, etc.
- Prepare minutes, agendas and packets for various committees, commissions and boards
- Prepare deposits and purchase orders for bill payments

Planning Monthly Report Cont.

*Met with the County Planner

*Staff reviewed and commented on R1PC's Freight Study

City of Belvidere

Building Department Revenues

Apr-23

	# OF PERMITS	
Code Enforcement Violations	5	\$ 250.00
Electrical Registrations		
Total Permits Issued	144	
Total Value of Construction		\$ 11,839,532.00
Building Fees	144	\$ 69,715.13
Electric Permit Fees	30	\$ 4,583.29
Plumbing Permit Fees	6	\$ 1,040.00
HVAC Permit Fees	4	\$ 1,693.33
Insulation Permit Fees	3	\$ 592.50
Plan Review Fees	28	\$ 29,933.91
Zoning Review Fees	55	\$ 657.50
Fire Dept Review Fees	6	\$ 4,494.00
Sign Permit Fees	5	\$ 490.00
Fence Permit Fees	13	\$ 390.00
SW,DW & GR Fees	21	\$ 6,245.00
Reinspection/Misc.	0	
Total Permit Income		\$ 119,834.66
Enterprise Zone Discount	3	\$ 25,917.25
Total Permit Fees		\$ 145,751.91
BREAK DOWN OF COMMERCIAL VS. RESIDENTIAL INCOME		
Commercial/Industrial Income	19	\$ 126,741.61
Residential Income	125	\$ 19,010.30
	TOTAL	\$ 145,751.91
VALUE		
Multi Family (New Construction)	0	\$ -
Single Family Residence (New Const)	1	\$ 116,000.00
Commercial/ Industrial	19	\$ 10,735,300.00
Other Residential	124	\$ 1,104,232.00
	TOTAL	\$ 11,839,532.00

2023-0314	04/27/23	1412	SR4	Waits Way	\$14,000.00	Solar Panel Install	\$105.00	\$50.00												\$30.00	\$65.00	
2023-0313	04/28/23	223	SR6	Lincoln Ave	\$500.00	Fence	\$25.00														\$60.00	\$95.00
2023-0318	04/28/23	602	SR6	Highland St	\$20,000.00	SWDW & Approach	\$25.00														\$10.00	\$170.00
2023-0319	04/28/23	1114	SR6	East Ave	\$9,000.00	Tear off/Re roof	\$170.00															\$230.00
2023-0316	04/28/23	1316	SR4	Bliss St	\$13,000.00	Tear off/Re roof	\$230.00															\$110.00
2023-0320	04/28/23	1220	SR6	Whitney Blvd	\$5,000.00	Window Replacement	\$110.00															\$230.00
2023-0321	04/28/23	826	SR6	Sullivan Dr	\$13,000.00	Window Replacement	\$230.00															\$13.00
125					\$1,104,232.00		\$14,519.75	\$1,348.29	\$890.00	\$183.33	\$50.00	\$233.93	\$470.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$390.00	\$925.00	\$19,010.30
							\$125.00	\$22.00	\$4.00	\$1.00	\$1.00	\$21.00	\$47.00	\$0.00	\$0.00	\$0.00	\$0.00	\$13.00	\$15.00			

SINGLE FAMILY HOME REPORT APRIL 2023

Permit #	Date	Street #	Dir	Street Name	Zone	Value	Construction Type	BLDG	ELECT	PLUMB	HVAC	INS	REVV	ZONG	FD REVW	SIGN	FENCE	SW/DW	AMT PD
2023-0229	04/20/23	349		Whitetail Trl	SR4	\$116,000.00	SFH	\$778.25	\$267.26	\$410.00	\$183.33	\$50.00	\$30.33	\$10.00	\$0.00	\$0.00	\$0.00	\$85.00	\$1,814.17
							TOTALS	\$778.25	\$267.26	\$410.00	\$183.33	\$50.00	\$30.33	\$10.00	\$0.00	\$0.00	\$0.00	\$85.00	\$1,814.17

COMMERCIAL MONTHLY REPORT APRIL 2023

Permit #	Date	Street #	Dir	Street Name	Zone	Value	Construction Type	BLDG	ELECT	PLUMB	HVAC	INS	REWW	ZONG	FD REWW	SIGN	FENCE	SW/DW	AMT PD	EZ	TOTAL FEE
2023-0155	04/05/23	225	N	State St	CB	\$300.00	SIGN	\$25.00						\$25.00		\$60.00			\$100.00		\$110.00
2023-0120	04/10/23	2005		Gateway Center Dr	PB	\$2,200,000.00	New Commercial Bldg	\$16,746.50	\$147.50		\$137.50	\$17.50	\$8,530.75	\$25.00	\$240.00	\$180.00		\$72.50	\$25,904.75		\$25,664.75
2023-0186	04/12/23	105	W	Harrison St	CB	\$9,000.00	Signs	\$25.00	\$25.00					\$25.00				\$42.50	\$80.00		\$160.00
2023-0189	04/13/23	320		Whitney Blvd	CB	\$4,500.00	Parking Lot Electric	\$12.50	\$12.50				\$12.50						\$172.50		\$80.00
2023-0191	04/13/23	104	N	State St	CB	\$20,000.00	Road/Framing	\$172.50						\$25.00	\$2,551.00	\$95.00		\$85.00	\$7,651.00		\$2,651.00
2023-0121	04/13/23	1701		Industrial Ct	PB	\$395,000.00	Sprinkler System	\$649.22	\$165.00				\$472.14	\$25.00	\$756.00	\$120.00		\$95.00	\$1,491.36		\$1,491.36
2023-0042	04/17/23	1890		Crystal Pkwy	PB	\$85,000.00	Truck Scale	\$25.00	\$90.00					\$25.00				\$120.00	\$220.00		\$220.00
2023-0127	04/18/23	1880		Crystal Pkwy	PB	\$70,000.00	Signs	\$12.50	\$97.50						\$756.00			\$806.00		\$806.00	
2023-0149	04/18/23	1701		Industrial Ct	HI	\$75,000.00	Fire Alarm System Install	\$12.50	\$27.50						\$96.00			\$42,638.50		\$42,638.50	
2023-0146	04/19/23	1701		Industrial Ct	HI	\$5,000,000.00	Build Out	\$23,796.66	\$2,727.50		\$1,312.50	\$525.00	\$14,180.84		\$96.00				\$75.00	\$75.00	\$75.00
2023-0257	04/19/23	2005		Gateway Center Dr	PB	\$0.00	Renewal Sign #20220097	\$75.00											\$313.00		\$313.00
2023-0280	04/25/23	114	E	Lincoln Ave	CB	\$17,000.00	Tear off/Re-roof	\$913.00											\$95.00		\$95.00
2023-0287	04/25/23	120	N	State St	CB	\$1,900.00	100 AMP Meter & Wir	\$25.00	\$70.00					\$25.00				\$60.00	\$135.00		\$135.00
2023-0255	04/25/23	1954		Gateway Center Dr	PB	\$13,000.00	Concrete Slab	\$25.00										\$5,000.00	\$24,155.75		\$24,155.75
2023-0062	04/26/23	1400		Big Thunder Blvd	PH	\$2,900,000.00	Parking Lot /RTU	\$12,572.50			\$60.00		\$6,531.25	\$25.00	\$192.00	\$35.00			\$85.00		\$85.00
2023-0298	04/26/23	390	W	Chrysler Dr	SH	\$200.00	Sign	\$25.00						\$25.00				\$375.00		\$375.00	
2023-0315	04/27/23	312	N	State St	CB	\$23,000.00	Tear off/Re-roof	\$375.00							\$659.00				\$502.50		\$502.50
2023-0133	04/28/23	1615	N	State St	CB	\$9,600.00	Fire Suppression System Ad	\$70.00						\$147.50	\$25.00			\$60.00	\$759.00		\$759.00
2023-0299	04/28/23	104	N	State St	CB	\$12,500.00	Masonry Repair	\$270.00						\$187.50	\$4,494.00	\$490.00	\$0.00	\$5,320.00	\$100,824.36		\$25,917.25
						\$10,735,306.00		\$55,195.38	\$3,235.00	\$150.00	\$1,510.00	\$542.50	\$29,899.98	\$187.50	\$4,494.00	\$490.00	\$0.00	\$5,320.00	\$100,824.36		\$126,741.61

EZ Discount Report - APRIL 2023

Permit #	Date	Street	Dir	Treet	Narr	Zone	Value	Construction Typ	BLDG	ELECT	PLUMB	HVAC	INS	REVV	ZONG	FD REVW	SIGN	FENCE	SW/DW	AMT PD	EZ	TOTAL FEE
2023-0189	04/13/23	320		Whitney Blv	CB	CB	\$4,500,000.00	Parking Lot Electr	\$12.50	\$12.50				\$12.50					\$42.50	\$80.00	\$80.00	\$160.00
2023-0191	04/13/23	104	N	State St	CB	CB	\$20,000.00	Roof/Framing	\$172.50										\$172.50	\$172.50	\$345.00	\$345.00
2022-0120	04/10/23	2005		Gateway Centre	PR	PR	\$2,200,000.00	3w Commercial Bl	\$16,746.50	\$147.50		\$137.50	\$17.50	\$8,530.75	\$12.50	\$240.00			\$72.50	\$25,904.75	\$25,664.75	\$51,569.50
																				\$0.00	\$0.00	\$0.00
																				\$0.00	\$0.00	\$0.00
							\$2,224,500.00		\$16,931.50	\$160.00				\$8,543.25	\$12.50	\$240.00	\$0.00		\$115.00	\$26,157.25	\$25,917.25	\$52,074.50

ELECTRICAL REGISTRATION APRIL 2023

Permit #	Date	FEE	PYMNT	NAME	CO NAME	REG #	EXPIRES
2023-0152	4/4/2023	\$ 50.00	cash	Matt Cregeen	T & M Electrical Service Inc	23-1098	4/30/2024
2023-0160	04/06/23	\$ 50.00	cash	Ivan Sousa	Ivan Sousa	236-79	4/30/2024
2023-0174	04/11/23	\$ 50.00	cash	Damien Acosta	Duran's Renovation's LLC	23-411-1	4/30/2024
2023-0183	04/12/23	\$ 50.00	card	Rolando Perez	D Best Electrical Solutions Inc	23-412-1	4/30/2024
2023-0198	04/14/23	\$ 50.00	485963	Ignacio Pelayo	Four Seasons	23-414-1	4/30/2024
2023-0273	04/21/23	\$ 50.00	110508	Mark Wesa	MKD Electric LLC	23-421-1	4/30/2024
2023-0279	4/24/2023	\$ 50.00	1506	Eric Schmidt	AAA Electric Co	23-424-1	4/30/2024
2023-0278	4/24/2023	\$ 50.00	2593	Larry Ruback	LR Electric	23-424-2	4/30/2024
2023-0280	4/24/2023	\$ 50.00	85799	William Connelly	Connelly Electric Co	23-424-3	4/30/2024
2023-0286	4/25/2023	\$ 50.00	5225	James Culvey	Culvey Electric	23-425-1	4/30/2024
2023-0289	4/25/2023	\$ 50.00	1500	Morse Electric	Morse Electric Inc	23-425-2	4/30/2024
2023-0291	4/25/2023	\$ 50.00	cash	Gaspar Trujillo	Gaspar Trujillo	23-425-3	4/30/2024
2023-0292	4/25/2023	\$ 50.00	3467	Bob Dorn	A Polar Bear Air LLC	23-425-4	4/30/2024
2023-0293	4/25/2023	\$ 50.00	3239	Josh Robertson	Green Acres Lawn Care	23-425-5	4/30/2024
2023-0295	4/25/2023	\$ 50.00	4747	Steve McMackin	McMackin Construction	23-425-6	4/30/2024
2023-0296	4/25/2023	\$ 50.00	CASH	Mike Thomas	Blake Electric	23-425-7	4/30/2024
2023-0302	4/26/2023	\$ 50.00	7510	Gary Blake	Keating Electric	23-426-1	4/30/2024
2023-0305	4/27/2023	\$ 50.00	7426	David Keating	Keating Electric	23-427-1	4/30/2024
	04/27/23	\$ 50.00		Eugen Nelson	Gene Nelson & Sons	23-427-2	4/30/2024
	04/27/023	\$ 50.00		Keith Nelson	Gene Nelson & Sons	23-427-3	4/30/2024
2023-0325	04/28/23	\$ 50.00	9623	Andy Taylor	Taylor Electric	23-428-1	4/30/2024
2023-0326	04/28/23	\$ 50.00	5483	Richard Arnold	Arnold's Construction	23-428-2	4/30/2024
2023-0327	04/28/23	\$ 50.00	12183	Ezra Iiani	Ezra Electric & Construction	23-428-3	4/30/2024
2023-0328	04/28/23	\$ 50.00	5101	Christopher Hendrickson	Accelerated Electric Inc	23-428-4	4/30/2024
2023-0329	04/28/23	\$ 50.00	3492	Douglas Bouback	Del Light Electric	23-428-5	4/30/2024
2023-0330	04/28/23	\$ 50.00	1130	Timothy Powell	T and T Exteriors Inc	23-428-6	4/30/2024
2023-0331	04/28/23	\$ 50.00	5912	Nick Griffith	NRG Electric, Inc	23-428-7	4/30/2024
2023-0332	04/28/23	\$ 50.00	58997	Mike Greshop	Blue Ribbon Electrical, Inc.	23-428-8	4/30/2024
		\$ 1,400.00					

CODE ENFORCEMENT VIOLATIONS APRIL 2023

Permit #	Date	Street #	Dir	Street Name	Zone	Code	Enforcement Fee #/Cash	Check	Owner
[REDACTED]									

0

\$0.00

CODE VIOLATIONS - APRIL 2023

04/01/2023 - 04/30/2023

Case Date	Parcel Address	Assigned To	Description	Main Status
Group: Closed				
4/3/2023	607 RIVERBEND RD	Cara Whetsel	Semi	Closed
4/3/2023	2115 OAKBROOK DR	Cara Whetsel	cars parked in grass	Closed
4/3/2023	1480 HAZELWOOD DR	Cara Whetsel	cars parked on grass	Closed
4/3/2023	107 N STATE ST	Cara Whetsel	garbage behind building	Closed
4/6/2023	1319 W 6TH ST	Cara Whetsel	broken tree limbs hanging in trees over his property	Closed
4/7/2023	522 W PERRY ST	Cara Whetsel	branches falling in neighbors yard	Closed
4/10/2023	111 E 2ND ST	Cara Whetsel	garbage cans left at curb for 2 days	Closed
4/10/2023	917 JEFFERSON ST	Cara Whetsel	toilet in front of house	Closed
4/11/2023	1410 HAZELWOOD DR	Cara Whetsel	strong acrylic smell	Closed
4/11/2023	1304 PERRSONS PKWY	Cara Whetsel	fence w/o permit	Closed
4/19/2023	105 N State St	Cara Whetsel	garbage behind bldg	Closed
4/21/2023	615 S MAIN ST	Cara Whetsel	chickens in yard	Closed
4/27/2023	710 W 12TH ST	Cara Whetsel	garbage in front of house. Dead squirrel in yard.	Closed
4/28/2023	330 W Harrison	Cara Whetsel	garbage by the street	Closed
Group Total: 14				

Group: In Progress

4/5/2023	1605 FOX FIELD DR	Cara Whetsel	Broken window, boxes piles up outside, garbage in front yard	In Progress
4/12/2023	1133 W 4TH ST	Cara Whetsel	tree on fence	In Progress
4/13/2023	416 W 7TH ST	Cara Whetsel	trampoline in ROW & parking in grass.	In Progress
4/17/2023	510 GLENWOOD DR	Cara Whetsel	dog feces in yard	In Progress
4/17/2023	1221 W 4TH ST	Cara Whetsel	fallen fence panel	In Progress
4/18/2023	716 S STATE ST	Cara Whetsel	fence in disrepair, garbage & brush & broken garage door	In Progress
4/19/2023	305 CHANNING AVE	Cara Whetsel	chickens & garbage	In Progress
4/21/2023	621 S MAIN ST	Cara Whetsel	chickens	In Progress
4/21/2023	841 W LOCUST ST	Cara Whetsel	garage roof in disrepair	In Progress
4/25/2023	1223 S STATE ST	Cara Whetsel	garbage on porch and broken window on second floor	In Progress
4/25/2023	313 WARREN AVE	Cara Whetsel	garbage on property	In Progress
4/26/2023	1940 N STATE ST	Cara Whetsel	pile of garbage and old furniture	In Progress
4/26/2023	216 N MAIN ST	Cara Whetsel	garbage on front porch and yard and in a trailer. inop vehicles parking on grass.	In Progress
4/26/2023	1010 COLUMBIA AVE	Cara Whetsel	fence in disrepair	In Progress
4/27/2023	924 GARFIELD AVE	Cara Whetsel	home occ w/o permit	In Progress
4/27/2023	1988 BURNETT DR	Cara Whetsel	howm occ w/o permit	In Progress

Group Total: 16

Group: Ticketed

4/21/2023	1115 S STATE ST	Cara Whetsel	front porch in disrepair, inop truck & garbage	Ticketed

Group Total: 1

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Total Records: 31

CODE GRAPHS 












ADVANCED SEARCH RESULTS

Select View 



Selected	Case Date 	Property Address 	Description 	Assigned To 	Letter 	Status 	Edit/View
	03/09/2023	1605 FOX FIELD DR	broken window & boxes on porch, may be a hoarder situation	Cara Whetsel		In Progress	
	03/10/2023	215 E 2ND ST	garage roof in disrepair	Cara Whetsel		In Progress	
	03/23/2023	2115 OAKBROOK DR	inoperable vehicle parked in the grass, vehicle parked over the sidewalk	Cara Whetsel		In Progress	
	03/24/2023	704 WHITNEY BLVD	garbage & rubbish & fence too tall in front yard.	Cara Whetsel		In Progress	
	03/29/2023	515 BUCHANAN ST	tall weeds & underbrush, holes in exterior walls, holes in soffit & fascia, garbage in yard, handrails & steps in disrepair on the porches, broken windows	Cara Whetsel		In Progress	
	03/29/2023	325 BEACON DR	inoperable vehicles parking in yard & garbage on the driveway	Cara Whetsel		In Progress	
	04/05/2023	1605 FOX FIELD DR	Broken window, boxes piles up outside, garbage in front yard	Cara Whetsel		In Progress	
	04/12/2023	1133 W 4TH ST	tree on fence	Cara Whetsel		In Progress	
	04/13/2023	416 W 7TH ST	trampoline in ROW & parking in grass.	Cara Whetsel		In Progress	
	04/17/2023	1221 W 4TH ST	fallen fence panel	Cara Whetsel		In Progress	

Selected	Case Date	Property Address	Description	Assigned To	Letter	Status	Edit/View
	04/25/2023	313 WARREN AVE	garbage on property	Cara Whetsel		In Progress	
	04/18/2023	716 S STATE ST	fence in disrepair, garbage & brush & broken garage door	Cara Whetsel		In Progress	
	04/21/2023	841 W LOCUST ST	garage roof in disrepair	Cara Whetsel		In Progress	
	04/26/2023	1010 COLUMBIA AVE	fence in disrepair	Cara Whetsel		In Progress	
	04/19/2023	305 CHANNING AVE	chickens & garbage	Cara Whetsel		In Progress	
	04/27/2023	1988 BURNETT DR	howm occ w/o permit	Cara Whetsel		In Progress	
	04/26/2023	216 N MAIN ST	garbage on front porch and yard and in a trailer. inop vehicles parking on grass.	Cara Whetsel		In Progress	
	04/25/2023	1223 S STATE ST	garbage on porch and broken window on second floor	Cara Whetsel		In Progress	
	04/27/2023	924 GARFIELD AVE	home occ w/o permit	Cara Whetsel		In Progress	
	04/26/2023	1940 N STATE ST	pile of garbage and old furniture	Cara Whetsel		In Progress	
	04/17/2023	510 GLENWOOD DR	dog feces in yard	Cara Whetsel		In Progress	
	04/21/2023	621 S MAIN ST	chickens	Cara Whetsel		In Progress	
	02/01/2023	1230 S APPLETON RD	huge garbage pile in yard	Cara Whetsel		In Progress	
	02/01/2023	1250 S APPLETON RD	garbage	Cara Whetsel		In Progress	

Selected	Case Date	Property Address	Description	Assigned To	Letter	Status	Edit/View
	02/27/2023	330 W. Harrison	Garbage in front of house & tall weeds.	Cara Whetsel		In Progress	
	03/06/2023	124 N STATE ST	deterioration of the front facade with decorative features also in disrepair	Cara Whetsel		In Progress	
	03/06/2023	138 N STATE ST	front façade & decorative features in disrepair	Cara Whetsel		In Progress	
	03/08/2023	211 E 2ND ST	Garbage in back yard & driveway, inoperable vehicle & truck w/ D plates	Cara Whetsel		Ticketed	
	01/23/2023	1512 W 9TH ST	inop vehicle parking in grass & a vehicle parking over the sidewalk	Cara Whetsel		Ticketed	
	04/21/2023	1115 S STATE ST	front porch in disrepair, inop truck & garbage	Cara Whetsel		Ticketed	

1

Records 1 to 30 (of 30)

1

INCOME STATEMENT FOR THE GENERAL FUND

			Through	April	2023	
	Account #	Actual FY 22	Month of April	YTD Actual for FY 23	Budget FY 23	100% of Budget
General Administration						
RE Property Tax	01-4-110-4010	1,773,426.68	0.00	1,770,704.94	1,769,385	100%
Hotel / Motel Tax	01-4-110-4011	1,468.59	276.52	3,980.28	2,076	192%
Auto Rental Tax	01-4-110-4012	8,549.57	493.97	8,170.04	8,000	102%
Muni Infrastructure Maint	01-4-110-4013	73,542.87	5,704.88	70,884.89	74,088	96%
State Income Tax	01-4-110-4100	3,667,723.38	355,438.87	4,094,235.45	3,136,002	131%
Home Rule Sales Tax	01-4-110-4109	1,370,774.02	102,231.81	1,569,897.68	1,362,254	115%
Muni Sales Tax	01-4-110-4110	4,669,641.31	348,674.23	5,037,083.37	4,677,358	108%
Sales Tax to Developer	01-4-110-4111	0.00	0.00	0.00	0	0%
Local Use Tax	01-4-110-4112	979,340.62	81,301.76	1,031,810.57	921,967	112%
Local Motor Fuel Tax	01-4-110-4113	452,223.04	28,978.31	390,702.87	462,391	84%
Cannabis Tax	01-4-110-4115	39,935.26	3,619.37	39,894.75	36,386	110%
Replacement Tax	01-4-110-4120	1,288,853.76	198,685.81	1,689,573.59	892,012	189%
Repl Tax Dist to Pensions	01-4-110-4121	(264,297.00)	0.00	(264,297.00)	(264,297)	100%
Grants	01-4-110-4150	15,000.00	0.00	0.00	0	0%
American Rescue Plan Act	01-4-110-4152	1,710,788.18	0.00	1,710,788.18	0	0%
Business License	01-4-110-4200	9,095.00	390.00	9,365.00	9,980	94%
Liquor License & Fines	01-4-110-4210	159,900.00	0.00	168,800.00	154,000	110%
Amusement Machine	01-4-110-4230	102,970.00	0.00	106,639.67	102,000	105%
Court Fines	01-4-110-4400	128,809.54	18,388.08	145,439.41	116,000	125%
Parking Fines	01-4-110-4410	7,370.00	75.00	3,660.00	5,353	68%
Seized Vehicle Fee	01-4-110-4420	42,000.00	3,300.00	45,950.00	41,208	112%
Engr Fees-Subdivision	01-4-110-4430	0.00	0.00	119,833.00	0	#DIV/0!
Video Gambling	01-4-110-4440	529,244.41	43,510.21	541,209.21	500,000	108%
Franchise Fees	01-4-110-4450	267,828.97	0.00	254,574.63	271,769	94%
Comcast Fees	01-4-110-4455	0.00	0.00	0.00	0	0%
Death/Birth Certificates	01-4-110-4460	24,129.00	1,616.00	22,478.00	23,835	94%
Accident/Fire Reports	01-4-110-4470	4,983.00	345.00	3,175.00	4,900	65%
Annexation/Plat Fees	01-4-110-4471	0.00	0.00	59,298.44	0	#DIV/0!
Tipping Fees	01-4-110-4472	14,991.81	0.00	21,609.46	19,989	108%
Fuel Charges (outside vendors)	01-4-110-4550	382,437.26	36,971.99	499,211.24	350,000	143%
Interest Income	01-4-110-4600	20,218.07	110,011.15	382,828.12	18,000	2127%
Misc Revenues	01-4-110-4900	64,861.14	13,300.00	183,249.74	133,100	138%
Heritage Days	01-4-110-4901	109,655.62	13,700.00	90,968.86	0	0%
Historic Pres. Fundraising	01-4-110-4902	1,567.51	0.00	858.60	0	0%
Historic Pres. Grant Reimb.	01-4-110-4903	9,840.00	0.00	0.00	0	0%
Sale of Assets	01-4-110-4950	0.00	0.00	0.00	0	0%
Operating Transfer in (Reserves)	01-4-110-9998	0.00	0.00	0.00	0	0%
Total General Administration Revenues		17,666,871.61	1,367,012.96	19,812,577.99	14,827,756	134%
Salaries - Elected Officials	01-5-110-5000	218,210.21	16,606.80	215,888.40	215,889	100%
Salaries - Regular - FT	01-5-110-5010	216,713.59	22,135.82	226,442.65	234,708	96%
Group Health Insurance	01-5-110-5130	416,981.63	35,991.18	465,308.60	506,331	92%
Health Ins Claims Pd (Dental)	01-5-110-5131	26,941.32	3,952.00	30,472.00	30,000	102%
Group Life Insurance	01-5-110-5132	1,354.05	114.75	1,368.90	1,652	83%
Health Insurance Reimb.	01-4-110-4540	(154,278.12)	6,166.47	(153,306.55)	(173,339)	88%
Unemployment Compensation	01-5-110-5136	0.00	0.00	2,506.96	0	0%
Meeting & Conferences	01-5-110-5154	5,392.27	0.00	3,149.60	8,075	39%
Subscriptions/Ed Materials	01-5-110-5156	1,034.20	0.00	715.20	1,500	48%
Gen Admin Personnel & Benefit Expenses		732,349.15	84,967.02	792,545.76	824,816	96%
Repairs/Maint - Bldgs	01-5-110-6010	34,168.15	1,321.33	33,132.70	28,108	118%
Repairs/Maint - Equip	01-5-110-6020	4,363.88	301.63	3,235.97	5,000	65%
Legal	01-5-110-6110	6,464.43	276.44	9,493.39	115,500	8%
Other Professional Services	01-5-110-6190	117,832.88	15,689.22	106,919.29	92,000	116%
Back to Business Grant	01-5-110-6191	0.00	0.00	0.00	0	0%
Telephone	01-5-110-6200	22,569.57	2,221.85	21,042.92	23,550	89%
Codification	01-5-110-6225	3,235.99	0.00	950.00	6,200	15%
Other Communications	01-5-110-6290	1,603.35	146.04	1,655.56	2,250	74%
Gen Admin Contractual Expenses		190,238.25	19,956.51	176,429.83	272,608	65%

General Administration (cont)	Account #	Actual FY 22	Month of April	YTD Actual for FY 23	Budget FY 23	100% of Budget
Office Supplies	01-5-110-7020	93,552.46	21,638.50	108,715.04	105,350	103%
Gas and Oil	01-5-110-7030	475,736.89	16,121.45	481,925.30	400,000	120%
Other Supplies	01-5-110-7800	2,544.15	87.05	1,502.66	3,100	48%
Gen Admin Supplies Expenses		571,833.50	37,847.00	592,143.00	508,450	116%
Miscellaneous Expense	01-5-110-7900	68,534.46	7,825.23	93,410.99	53,305	175%
Reimb of Seized Vehicle Fee	01-5-110-7901	0.00	0.00	0.00	0	0%
Heritage Days	01-5-110-7902	100,116.61	0.00	96,130.62	0	0%
Comcast Charges	01-5-110-7903	0.00	0.00	0.00	0	0%
Historic Preservation	01-5-110-7904	0.00	0.00	0.00	0	0%
Operating Transfers Out	01-5-110-9999	372,825.00	(194,029.55)	2,191,532.60	3,668,474	60%
Total General Administration Expenses		2,035,896.97	(43,433.79)	3,942,192.80	5,327,653	74%
NET GENERAL ADMINISTRATION		15,630,974.64	1,410,446.75	15,870,385.19	9,500,103	167%
General Fund - Audit Department						
RE Taxes - Audit	01-4-130-4010	20,072.01	0.00	20,051.20	20,000	100%
Accounting & Auditing	01-5-130-6100	52,575.00	0.00	45,390.00	47,000	97%
NET - AUDIT DEPARTMENT		(32,502.99)	0.00	(25,338.80)	(27,000)	94%
General Fund - IMRF Department						
RE Taxes - IMRF	01-4-140-4010	65,176.63	0.00	65,046.67	65,000	100%
Replacement Tax	01-4-140-4120	90,999.00	0.00	90,999.00	90,999	100%
Expense Reimbursement	01-4-140-4940	22,219.13	835.82	15,664.88	24,796	63%
Total IMRF Revenues		178,394.76	835.82	171,710.55	180,795	95%
IMRF Premium Expense	01-5-140-5120	156,885.00	8,673.95	119,758.64	160,771	74%
NET - IMRF DEPARTMENT		21,509.76	(7,838.13)	51,951.91	20,024	259%
General Fund - Social Security Department						
RE Taxes - FICA/Med	01-4-150-4010	200,460.45	0.00	200,157.81	200,000	100%
Expense Reimbursement	01-4-150-4940	144,206.52	11,352.19	146,492.59	154,110	95%
Library Expense Reimb.	01-4-150-4941	30,834.68	2,766.75	36,007.97	38,011	95%
Total Soc Security Revenues		375,501.65	14,118.94	382,658.37	392,121	98%
FICA Expense	01-5-150-5110	224,845.97	18,150.92	235,689.41	236,273	100%
Medicare Expense	01-5-150-5112	141,180.08	11,220.68	148,125.89	147,420	100%
Total Soc Security Expenses		366,026.05	29,371.60	383,815.30	383,693	100%
NET - SOCIAL SECURITY DEPT		9,475.60	(15,252.66)	(1,156.93)	8,428	-114%
General Fund - Liability Insurance Dept						
RE Taxes - Ins Liability	01-4-160-4010	300,710.67	0.00	300,214.25	300,000	100%
Expense Reimbursement	01-4-160-4940	0.00	0.00	0.00	0	0%
Total Liability Insurance Revenues		300,710.67	0.00	300,214.25	300,000	100%
Insurance Premium	01-5-160-6800	465,305.22	0.00	470,305.33	470,600	100%
NET - LIABILITY INSURANCE DEPT		(164,594.55)	0.00	(170,091.08)	(170,600)	100%

Police Department	Account #	Actual FY 22	Month of April	YTD Actual for FY 23	Budget FY 23	100% of Budget
RE Property Tax	01-4-210-4010	1,204,171.47	0.00	1,202,323.45	1,201,417	100%
Grants	01-4-210-4150	79,481.80	1,586.24	22,148.92	32,784	68%
Police Court Fines	01-4-210-4400	42,174.32	5,122.87	52,628.33	33,677	156%
Sex Offender Reg Fee	01-4-210-4480	2,800.00	200.00	2,500.00	3,100	81%
Violent Offender Reg Fee	01-4-210-4490	50.00	0.00	0.00	0	0%
Miscellaneous Revenues	01-4-210-4900	127,629.27	680.00	32,076.45	53,250	60%
Expense Reimbursement	01-4-210-4940	13,939.10	0.00	19,247.05	0	0%
SRO Reimbursement	01-4-210-4945	101,971.83	0.00	85,146.52	107,574	79%
Sale of Assets	01-4-210-4950	14,000.00	0.00	32,000.00	0	0%
COSSAP Reimbursement	01-4-210-4955	78,397.80	10,326.65	135,570.47	0	0%
Total Police Department Revenues		1,664,615.59	17,915.76	1,583,641.19	1,431,802	111%
Salary - Regular - FT	01-5-210-5010	3,711,943.58	303,516.69	3,890,735.42	4,112,439	95%
Overtime	01-5-210-5040	255,649.02	19,791.66	290,874.09	350,000	83%
Police Pension	01-5-210-5122	1,143,905.03	361,731.50	1,781,438.00	1,446,926	123%
Health Insurance	01-5-210-5130	861,825.88	63,624.80	828,890.29	1,094,763	76%
Dental Claims	01-5-210-5131	53,574.60	4,257.92	47,429.92	51,735	92%
Unemployment Compensation	01-5-210-5136	0.00	0.00	1,043.42	0	0%
Uniform Allowance	01-5-210-5140	81,042.98	1,514.40	81,505.95	85,663	95%
Training	01-5-210-5152	50,939.77	11,477.22	53,695.53	88,780	60%
Police Dept Personnel & Benefit Expenses		6,158,880.86	765,914.19	6,975,612.62	7,230,306	96%
Repair/Maint-Equipment	01-5-210-6020	18,757.12	863.91	16,341.64	30,375	54%
Repair/Maint-Vehicles	01-5-210-6030	97,528.96	2,911.09	54,639.70	99,800	55%
Telephone/Utilities	01-5-210-6200	40,310.12	1,206.27	37,139.95	46,000	81%
Physical Exams	01-5-210-6810	0.00	5,237.50	13,467.50	11,840	114%
Community Policing	01-5-210-6816	3,223.87	36.84	4,674.57	10,000	47%
K-9 Program Expenses	01-5-210-6818	23,207.00	4,955.03	28,133.83	7,266	387%
Sex Offender State Disburse	01-5-210-6835	1,820.00	0.00	1,495.00	3,600	42%
Violent Offender State Disburse	01-5-210-6845	50.00	10.00	60.00	0	0%
Police Department - Contractual Expenses		184,897.07	15,220.64	155,952.19	208,881	75%
Office Supplies	01-5-210-7020	8,524.03	268.59	3,495.00	8,550	41%
Gas & Oil	01-5-210-7030	82,990.76	9,113.92	108,484.71	126,000	86%
Operating Supplies	01-5-210-7040	23,545.25	893.29	23,081.70	52,025	44%
Miscellaneous Expense	01-5-210-7900	22,779.83	475.68	8,790.29	30,800	29%
eCitation Expenses	01-5-210-7902	10,000.00	0.00	2,242.00	3,000	75%
Police Department - Supplies Expense		147,839.87	10,751.48	146,093.70	220,375	66%
Equipment	01-5-210-8200	154,434.53	9,702.90	42,858.23	66,400	65%
Vehicles	01-5-210-8300	41,062.50	0.00	0.00	0	0%
Total Police Department Expenses		6,687,114.83	801,589.21	7,320,516.74	7,725,962	95%
NET - POLICE DEPARTMENT		(5,022,499)	(783,673)	(5,736,876)	(6,294,160)	91%
Public Safety Building Department						
Salaries - Regular - FT	01-5-215-5010	682,809.99	50,555.11	604,621.63	737,574	82%
Other (FICA & IMRF)	01-5-215-5079	107,996.96	6,410.39	83,696.73	116,610	72%
Other Contractual Services	01-5-215-6890	292,460.20	34,313.67	280,504.86	333,250	84%
NET - PUBLIC SAFETY BLDG DEPT		(1,083,267.15)	9,831.05	(968,823.22)	(1,187,434)	82%

Fire Department	Account #	Actual FY 22	Month of April	YTD Actual for FY 23	Budget FY 23	100% of Budget
RE Property Tax	01-4-220-4010	1,023,483.31	0.00	1,021,902.61	1,021,132	100%
Grants	01-4-220-4150	26,647.33	0.00	3,509.97	0	0%
Miscellaneous Revenues	01-4-220-4900	10,029.60	4,150.36	47,212.40	7,500	629%
Expense Reimbursement	01-4-220-4940	23,620.59	0.00	860.89	0	0%
Sale of Assets	01-4-220-4950	1,500.00	0.00	210,000.00	0	0%
Total Fire Department Revenues		1,085,280.83	4,150.36	1,283,485.87	1,028,632	125%
Salaries - Regular - FT	01-5-220-5010	2,212,018.80	175,208.41	2,315,718.51	2,480,719	93%
Overtime	01-5-220-5040	221,634.70	13,617.96	216,495.85	153,720	141%
Fire Pension	01-5-220-5124	969,350.33	309,175.75	1,439,187.00	1,236,703	116%
Health Insurance	01-5-220-5130	488,092.37	38,061.16	531,253.10	651,405	82%
Dental Insurance	01-5-220-5131	31,729.90	112.80	28,087.04	30,000	94%
Unemployment Compensation	01-5-220-5136	0.00	0.00	0.00	0	0%
Uniform Allowance	01-5-220-5140	41,809.99	375.72	35,397.45	41,000	86%
Training	01-5-220-5152	13,267.54	410.00	11,291.58	22,600	50%
Fire Depart Personnel & Benefits Expenses		3,977,903.63	536,961.80	4,577,430.53	4,616,147	99%
Repair/Maint-Bldg	01-5-220-6010	30,161.67	333.37	43,947.15	39,000	113%
Repair/Maint-Equipment	01-5-220-6020	13,026.84	1,324.12	17,905.12	17,000	105%
Repair/Maint-Vehicles	01-5-220-6030	35,074.95	1,856.04	46,883.58	55,000	85%
Telephone/Utilities	01-5-220-6200	15,554.44	1,106.02	11,213.06	10,470	107%
Physical Exams	01-5-220-6810	1,806.92	10.00	519.00	1,000	52%
Fire Prevention	01-5-220-6822	6,630.69	51.00	6,594.37	8,300	79%
Emergency Med Supplies	01-5-220-6824	10,483.92	2,600.40	11,138.45	11,500	97%
Fire Department - Contractual Expenses		112,739.43	7,280.95	138,200.73	142,270	97%
Office Supplies	01-5-220-7020	20,871.95	363.39	29,697.38	31,200	95%
Gas & Oil	01-5-220-7030	17,455.88	1,644.42	27,759.67	20,000	139%
Operating Supplies	01-5-220-7040	12,309.26	105.13	8,296.17	8,500	98%
Miscellaneous Expense	01-5-220-7900	900.41	0.00	10,464.32	750	1395%
Fire Department - Supplies Expenses		51,537.50	2,112.94	76,217.54	60,450	126%
Equipment	01-5-220-8200	21,074.12	2,140.84	19,277.03	20,000	96%
Total Fire Department Expenses		4,163,254.68	548,496.53	4,811,125.83	4,838,867	99%
NET - FIRE DEPARTMENT		(3,077,973.85)	(544,346.17)	(3,527,639.96)	(3,810,235)	93%
Police & Fire Commission Department						
Physical Exams	01-5-225-6810	5,684.80	2,550.00	8,954.00	5,600	160%
Other Contractual Services	01-5-225-6890	13,916.78	440.00	10,701.63	12,250	87%
NET - POLICE & FIRE COMMISSION		(19,601.58)	2,990.00	(19,655.63)	(17,850)	110%

Community Development	Account #	Actual FY 22	Month of April	YTD Actual for FY 23	Budget FY 23	100% of Budget
Building Permits	01-4-230-4300	231,413.27	62,715.13	490,324.14	200,000	245%
Electric Permits	01-4-230-4310	36,134.41	1,969.69	79,267.21	19,393	409%
Electrician Certification Fees	01-4-230-4315	3,000.00	900.00	1,800.00	3,000	60%
Plumbing Permits	01-4-230-4320	75.00	965.00	16,562.17	2,500	662%
HVAC Permits	01-4-230-4330	18,865.28	(29.92)	36,230.90	9,000	403%
Plan Review Fees	01-4-230-4340	23,473.26	29,537.13	216,033.37	10,000	2160%
Sidewalk/Lot Grading Fees	01-4-230-4350	17,162.00	5,275.00	36,737.20	12,000	306%
Insulation Permits	01-4-230-4360	4,795.00	152.50	12,080.00	969	1247%
Fire Review Fees	01-4-230-4365	2,968.00	0.00	0.00	2,750	0%
Zoning Review Fee	01-4-230-4370	5,060.00	522.50	5,287.50	4,000	132%
Code Enforcement	01-4-230-4380	2,100.00	0.00	3,200.00	3,000	107%
Forced Mowings Reimb.	01-4-230-4385	898.75	0.00	232.50	0	0%
Other Permits	01-4-230-4390	5,735.00	850.00	6,480.00	5,500	118%
Miscellaneous Revenues	01-4-230-4900	124.00	3.00	472.00	100	472%
Expense Reimbursement	01-4-230-4940	2,458.32	0.00	3,584.31	2,000	179%
Planning Fees	01-4-230-4950	16,600.00	1,400.00	23,349.25	12,000	195%
Planning Misc.	01-4-230-4955	2,880.00	50.00	1,250.00	2,000	63%
Building Department - Revenues		373,742.29	104,310.03	932,890.55	288,212	324%
Salaries- Regular - FT	01-5-230-5010	264,369.08	21,082.76	267,686.62	277,305	97%
FICA	01-5-230-5079	19,624.66	1,548.11	19,641.19	21,214	93%
IMRF	01-5-230-5120	22,219.13	835.82	15,664.88	22,628	69%
Health Ins Expense	01-5-230-5130	62,652.01	3,997.88	57,671.62	93,102	62%
Dental Insurance	01-5-230-5131	1,160.00	330.40	2,168.80	4,000	54%
Unemployment	01-5-230-5136	0.00	0.00	0.00	0	0%
Training	01-5-230-5152	3,742.32	0.00	1,270.08	2,000	64%
Building Dept Personnel & Benefits Expense		373,767.20	27,794.97	364,103.19	420,249	87%
Repair/Maint - Equip	01-5-230-6020	2,818.29	160.80	2,783.74	3,300	84%
Repair/Maint - Vehicles	01-5-230-6030	498.35	174.17	1,606.35	3,000	54%
Other Professional Services	01-5-230-6190	30,000.00	3,090.41	36,251.64	97,000	37%
Telephone	01-5-230-6200	2,049.79	121.84	1,666.96	2,400	69%
Postage	01-5-230-6210	3,339.99	0.00	5,201.94	3,700	141%
Printing & Publishing	01-5-230-6220	2,399.00	330.00	4,443.80	2,743	162%
Other Contractual Services	01-5-230-6890	6,150.02	0.00	0.00	36,400	0%
Building Department - Contractual Expenses		41,105.42	3,877.22	51,954.43	148,543	35%
Office Supplies	01-5-230-7020	9,932.82	87.54	5,719.90	5,000	114%
Gas & Oil	01-5-230-7030	1,356.19	102.52	1,838.88	2,000	92%
Miscellaneous Expense	01-5-230-7900	1,519.90	350.00	1,487.66	1,500	99%
Operating Transfer Out	01-5-230-9999	0.00	0.00	0.00	0	0%
Building Department - Supplies Expenses		12,808.91	540.06	9,046.44	8,500	106%
Total Building Department Expenses		427,681.53	32,212.25	425,104.06	577,292	74%
NET - BUILDING DEPARTMENT		(53,939.24)	72,097.78	507,786.49	(289,080)	-176%
Civil Defense Department						
RE Tax - Civil Defense	01-4-240-4010	7,023.71	0.00	7,027.91	7,000	100%
Miscellaneous Revenues	01-4-240-4900	0.00	0.00	0.00	0	0%
Miscellaneous Expense	01-5-240-7900	5,760.00	0.00	0.00	6,800	0%
NET - CIVIL DEFENSE DEPARTMENT		1,263.71	50,555.11	7,027.91	200	100%

Street Department	Account #	Actual FY 22	Month of April	YTD Actual for FY 23	Budget FY 23	100% of Budget
RE Tax - Road & Bridge	01-4-310-4010	341,378.44	0.00	340,586.34	320,000	106%
Grants	01-4-310-4150	6,179.50	0.00	0.00	0	0%
Sidewalk/Driveway/Lot Grading	01-4-310-4350	0.00	0.00	0.00	0	0%
Miscellaneous Revenues	01-4-310-4900	4,840.30	635.40	7,118.54	5,000	142%
Expense Reimbursement	01-4-310-4940	28,090.12	500.00	38,775.36	15,000	259%
Expense Reimbursement	01-5-310-4940	0.00	0.00	0.00	0	0%
Sale of Assets	01-4-310-4950	0.00	0.00	0.00	0	0%
Intergovernmental Revenue	01-4-310-4960	45,552.70	0.00	0.00	0	0%
Street Department - Revenues		426,041.06	1,135.40	386,480.24	340,000	114%
Salaries - Regular - FT	01-5-310-5010	674,697.96	56,600.46	713,714.43	802,629	89%
Overtime	01-5-310-5040	49,394.03	2,798.40	60,235.25	45,000	134%
Health Insurance	01-5-310-5130	184,858.40	21,502.60	232,540.16	215,049	108%
Uniform Allowance	01-5-310-5140	19,063.01	1,151.91	18,273.37	16,700	109%
Training	01-5-310-5152	50.00	130.00	1,091.58	1,500	73%
Street Dept - Personnel & Benefits Expenses		928,063.40	82,183.37	1,025,854.79	1,080,878	95%
Repair/Maint - Storm Drain	01-5-310-6001	9,518.22	2,848.83	20,983.49	30,000	70%
Repair/Maint - St/Parking Lot	01-5-310-6002	111,374.29	3,478.30	125,758.84	97,500	129%
Repair/Maint - Sidewalk/Curb	01-5-310-6003	75,193.00	(170.00)	94,070.35	40,000	235%
Repair/Maint - Building	01-5-310-6010	5,742.37	2,172.98	17,133.15	10,000	171%
Repair/Maint - Equipment	01-5-310-6020	140,008.49	2,646.51	142,623.71	110,000	130%
Repair/Maint - Traffic Signal	01-5-310-6024	67,667.75	7,528.02	25,692.03	30,000	86%
Telephone/Utilities	01-5-310-6200	9,475.23	859.19	9,586.71	9,200	104%
Leaf Clean-up/Removal	01-5-310-6826	9,927.60	325.00	973.00	12,000	8%
Street Department - Contractual Expenses		428,906.95	19,688.83	436,821.28	338,700	129%
Office Supplies	01-5-310-7020	5,825.05	150.80	5,880.80	6,000	98%
Gas & Oil	01-5-310-7030	59,717.29	10,056.19	84,954.94	70,000	121%
Operating Supplies	01-5-310-7040	22,540.76	1,448.56	28,032.72	30,000	93%
Miscellaneous Expense	01-5-310-7900	2,011.96	6.50	2,371.79	2,000	119%
Street Department - Supplies Expenses		90,095.06	11,662.05	121,240.25	108,000	112%
Equipment	01-5-310-8200	0.00	0.00	0.00	0	0%
Total Street Department Expenses		1,447,065.41	113,534.25	1,583,916.32	1,527,578	104%
NET - STREET DEPARTMENT		(1,021,024.35)	(112,398.85)	(1,197,436.08)	(1,187,578)	101%
Street Lighting						
RE Tax - Street Lighting	01-4-330-4010	210,496.48	0.00	210,183.38	210,000	100%
Expense Reimbursement	01-5-330-4940	0.00	0.00	0.00	0	0%
Repair/ Maint - Street Light	01-5-330-6022	9,644.43	1,465.35	18,954.50	10,000	190%
Street Lighting - Electricity	01-5-330-6310	275,405.34	20,900.68	250,636.33	230,000	109%
NET - STREET LIGHTING		(74,553.29)	(22,366.03)	(59,407.45)	(30,000)	198%

Landfill Department	Account #	Actual FY 22	Month of April	YTD Actual for FY 23	Budget FY 23	100% of Budget
RE Tax - Refuse/Landfill	01-4-335-4010	50,145.09	0.00	50,048.18	50,000	100%
Miscellaneous Revenue	01-4-335-4900	0.00	0.00	0.00	0	0%
Miscellaneous Expenses	01-5-335-7900	53,201.40	0.00	54,217.00	66,000	82%
NET - GARBAGE DEPARTMENT		(3,056.31)	0.00	(4,168.82)	(16,000)	26%
Forestry Department						
RE Tax - Forestry	01-4-340-4010	40,109.08	0.00	40,062.49	40,000	100%
Other Fees	01-4-340-4490	0.00	0.00	0.00	0	0%
Miscellaneous	01-4-340-4900	0.00	0.00	0.00	0	0%
Forestry Department Revenues		40,109.08	0.00	40,062.49	40,000	100%
Repair/ Maint - Other	01-5-340-6090	0.00	0.00	0.00	0	0%
Tree Removal or Purchase	01-5-340-6850	47,722.60	3,819.00	53,490.50	43,000	124%
Miscellaneous Expense	01-5-340-7900	0.00	0.00	0.00	0	0%
Forestry Department Expensess		47,722.60	3,819.00	53,490.50	43,000	124%
NET - FORESTRY DEPARTMENT		(7,613.52)	(3,819.00)	(13,428.01)	(3,000)	0%
Engineering Department						
Engineering	01-5-360-6140	25,603.12	0.00	7,658.00	27,000	28%
Subdivision Expense	01-5-360-6824	7,167.50	0.00	27,415.00	10,000	274%
Office Supplies	01-5-360-7020	6,149.62	411.09	7,149.71	7,200	99%
Gas & Oil	01-5-360-7030	0.00	0.00	0.00	0	0%
NET - ENGINEERING DEPARTMENT		(38,920.24)	(411.09)	(42,222.71)	(44,200)	96%
Health / Social Services						
Council on Aging	01-5-410-6830	0.00	0.00	0.00	-	#DIV/0!
Demolition / Nuisance	01-5-410-6832	2,598.75	0.00	3,228.75	4,500	72%
NET - HEALTH / SOCIAL SERVICES		(2,598.75)	0.00	(3,228.75)	(4,500)	72%
Economic Development						
Planning Dept Services	01-5-610-6150	2,520.00	0.00	1,880.00	2,500	75%
Economic / Business	01-5-610-6840	108,648.33	0.00	80,430.00	109,291	74%
Tourism	01-5-610-6842	5,000.00	0.00	0.00	5,000	0%
Historic Preservation	01-5-610-6844	3,793.85	0.00	4,425.81	4,550	97%
NET - ECONOMIC DEVELOPMENT		(119,962.18)	0.00	(86,735.81)	(121,341)	71%
Buchanan Street Strolls						
Strolls Vendor Fee	01-4-615-4490	1,195.00	0.00	0.00	0	#DIV/0!
Strolls Sponsors	01-4-615-4495	4,775.00	0.00	0.00	0	#DIV/0!
Strolls Miscellaneous	01-4-615-4900	166.00	0.00	0.00	0	#DIV/0!
STROLLS REVENUE		6,136.00	0.00	0.00	0	#DIV/0!
Buchanan Strolls Entertainment	01-5-615-6190	10,204.93	0.00	0.00	0	#DIV/0!
Buchanan Strolls Supplies	01-5-615-7040	1,007.95	0.00	0.00	0	#DIV/0!
Buchanan Strolls Misc.	01-5-615-7900	3,186.40	0.00	0.00	0	#DIV/0!
STROLLS EXPENSES		14,399.28	0.00	0.00	0	#DIV/0!
NET - BUCHANAN STREET STROLLS		(8,263.28)	0.00	0.00	0	#DIV/0!
Utility Tax Dept.						
Utility Tax - Electric	01-4-751-4131	1,109,713.62	0.00	1,011,810.07	1,092,591	93%
Utility Tax - Gas	01-4-751-4132	1,133,643.71	112,681.51	1,296,411.73	846,396	153%
Utility Tax - Telephone	01-4-751-4133	147,085.83	11,409.78	141,769.92	148,176	96%
Grants	01-4-751-4150	0.00	0.00	0.00	0	0%
Expense Reimbursement	01-4-751-4940	0.00	0.00	0.00	0	0%
Tripp Rd. Reconstruction	01-5-751-8056	0.00	0.00	0.00	0	0%
Southside Stormsewer Study	01-5-751-8058	0.00	0.00	0.00	0	0%
Bellwood Detention Basin	01-5-751-8060	2,406.00	0.00	0.00	0	0%
Poplar Grove/ Lawrenceville Int	01-5-751-8062	0.00	0.00	0.00	0	0%
		2,388,037.16	124,091.29	2,449,991.72	2,087,163	117%
TOTAL GENERAL FUND REVENUES		24,795,583.99	1,633,570.56	27,631,023.89	21,203,481	130%
TOTAL GENERAL FUND EXPENSES		17,474,693.64	1,611,309.29	20,600,089.47	22,790,541	90%
NET REV OVER (UNDER) EXP		7,320,890.35	22,261.27	7,030,934.42	(1,587,059)	

CASH FLOW STATEMENT FOR WATER / SEWER FUND as of April, 2023

Water / Sewer General Administration

Line Item	Account #	Actual FY 22	Month of April	Actual FY 23	Budget FY 23	100% of Budget
Beginning Cash & Investments		75,632		75,632.00	75,632	
Interest Income-sweep acct	61-4-110-4600	0	0.00	0.00	200	
Miscellaneous Revenues	61-4-110-4900	0	0.00	1,269.45	0	
Operating Transfer Out	61-5-110-9999	0	0.00	0.00	0	
Ending Cash		75,632	0.00	76,901.45	75,832	

Water Department

Line Item	Account #	Actual FY 22	Month of April	Actual FY 23	Budget FY 23	100% of Budget
Beginning Cash & Investments		264,901		273,187.92	539,400	
Water Consumption	61-4-810-4500	1,878,022	110,110.83	1,943,871.26	1,958,953	99%
Dep on Agr - Westhill	61-4-810-4521	44,504	(21,933.00)	31,738.00	20,000	0%
Meters Sold	61-4-810-4530	117,492	(74,076.56)	159,337.06	93,000	171%
Other Services	61-4-810-4590	4,574	282.00	3,397.00	5,000	68%
W/S Interest	61-4-810-4600	5	41.84	132.88	500	27%
Miscellaneous Revenues	61-4-810-4900	0	50.00	50.00	0	0%
Expense Reimbursement	61-4-810-4940	3,367	0.00	500.00	0	0%
Sale of Assets	61-4-810-4950	17,425	0.00	0.00	0	0%
Operating Transfers-In	61-4-810-9998	0	0.00	0.00	0	0%
Total Water Department Revenues		2,065,389	14,475.11	2,139,026.20	2,077,453	103%
Salaries - Regular - FT	61-5-810-5010	533,525	42,176.49	557,085.70	516,345	108%
Overtime	61-5-810-5040	55,493	755.20	59,606.91	35,000	170%
FICA Water	61-5-810-5079	43,523	3,284.26	43,500.18	42,178	103%
IMRF	61-5-810-5120	55,932	2,107.94	40,295.27	49,658	81%
Group Health Insurance	61-5-810-5130	173,505	16,393.70	211,134.19	195,159	108%
Uniform Allowance	61-5-810-5140	8,433	467.62	7,856.15	12,000	65%
Rep& Maint-Infrastructure	61-5-810-6000	82,358	0.00	128,858.20	74,000	174%
Rep& Maint - Buildings	61-5-810-6010	1,247	1,812.10	12,235.68	16,000	76%
Rep& Maint - Equipment	61-5-810-6020	24,997	1,625.33	54,960.85	33,000	167%
Rep& Maint - Vehicles	61-5-810-6030	11,082	4,311.72	12,927.46	20,000	65%
Rep& Maint - Contractual	61-5-810-6040	83,781	3,738.40	87,283.41	80,000	109%
Other Professional Serv	61-5-810-6190	3,225	0.00	7,318.03	15,000	49%
Telephone	61-5-810-6200	6,736	523.03	5,934.90	10,000	59%
Postage	61-5-810-6210	15,401	10,378.11	24,039.85	18,000	134%
Utilities	61-5-810-6300	224,572	14,187.11	134,569.72	250,000	54%
Office Equip Rental/Maint	61-5-810-6410	25,782	450.28	25,309.15	30,000	84%
Liability Insurance	61-5-810-6800	113,433	0.00	114,567.71	115,000	100%
Lab Expense	61-5-810-6812	14,211	1,787.03	17,036.27	36,000	47%
Office Supplies	61-5-810-7020	29,894	16,415.32	26,450.46	10,000	265%
Gas & Oil	61-5-810-7030	22,024	2,194.92	24,800.67	20,000	124%
Operating Supplies	61-5-810-7040	68,235	8,214.24	82,018.99	67,000	122%
Chemicals	61-5-810-7050	105,370	1,687.25	105,841.81	90,000	118%
Meters	61-5-810-7060	40,432	11,750.00	100,821.37	20,000	504%
Bad Debt Expense	61-5-810-7850	883	331.22	821.50	2,000	41%
Miscellaneous Expense	61-5-810-7900	1,947	1,802.97	7,112.07	5,000	142%
Equipment	61-5-810-8200	0	0.00	0.00	0	0%
Transfer Out	61-5-810-9999	0	0.00	0.00	0	0%
Depreciation Set Aside		295,000	24,583.33	294,999.96	295,000	100%
Bond Pmt Set Aside		0	0.00	0.00	0	0%
Total Water Department Expenses		2,041,022	170,977.57	2,187,386.46	2,056,340	106%
NET WATER DEPARTMENT		24,367	(156,502.46)	(48,360.26)	21,113	
Change in Accounts Receivable (YTD)		(4,390)		(4,390.37)		
Ending Cash & Investments		284,878	(156,502.46)	220,437.29	560,513	

CASH FLOW STATEMENT FOR WATER / SEWER FUND as of April, 2023

Sewer Department

Line Item	Account #	Actual FY 22	Month of April	Actual FY 23	Budget FY 23	100% of Budget
Beginning Cash & Investments		649,934		649,934.07	494,995	
Grants	61-4-820-4150	3,365	0.00	0.00	0	0%
Sewer Consumption	61-4-820-4500	2,710,762	171,550.68	2,656,966.06	2,819,711	94%
Dep on Agr - Westhills	61-4-820-4521	23,719	(11,817.00)	13,946.00	0.00	0%
Meters Sold	61-4-820-4530	117,194	97,098.56	158,854.06	93,000	171%
Other Services	61-4-820-4590	55,994	1,961.60	40,214.04	55,000	73%
WWT Interest	61-4-820-4600	184	2,267.34	10,144.82	0	#DIV/0!
Miscellaneous Revenues	61-4-820-4900	0	17,414.03	18,914.03	0	0%
Expense Reimbursement	61-4-820-4940	0	0.00	0.00	0	0%
Operating Transfers-In	61-4-820-9998	0	0.00	0.00	0	0%
Total Sewer Department Revenues		2,911,217	278,475.21	2,899,039.01	2,967,711	98%
Salaries - Regular - FT	61-5-820-5010	622,378	48,320.79	633,644.77	623,584	102%
Overtime	61-5-820-5040	53,442	3,572.48	58,146.44	55,000	106%
FICA WWTP	61-5-820-5079	49,216	3,969.82	51,859.88	51,912	100%
IMRF	61-5-820-5120	63,973	2,547.94	48,042.01	61,118	79%
Group Health Insurance	61-5-820-5130	207,591	22,438.60	213,507.79	212,847	100%
Dental Claims	61-5-820-5131	0	0.00	0.00	0	0%
Uniform Allowance	61-5-820-5140	17,562	1,943.95	18,512.77	20,600	90%
Travel	61-5-820-5151	0	0.00	0.00	0	0%
Rep & Maint - Lift Stations	61-5-820-6005	22,221	1,238.28	24,978.76	25,000	100%
Rep & Maint - Buildings	61-5-820-6010	70,093	5,197.08	83,943.85	95,000	88%
Rep & Maint - Equipment	61-5-820-6020	184,940	6,346.48	57,681.82	0.00	0%
Rep & Maint - Vehicles	61-5-820-6030	34,543	0.00	11,136.76	28,000	40%
Rep & Maint - Contractual	61-5-820-6040	46,642	0.00	30,055.98	50,000	60%
Other Professional Serv	61-5-820-6190	59,136	118.05	66,213.35	73,500	90%
NARP Watershed	61-5-820-6195	12,216	0.00	34,232.00	35,000	98%
Telephone	61-5-820-6200	8,578	724.85	7,577.11	12,200	62%
Postage	61-5-820-6210	15,565	1,011.12	14,780.69	17,000	87%
Utilities	61-5-820-6300	235,682	22,294.34	173,119.35	200,000	87%
Office Equip Rental/Maint	61-5-820-6410	5,571	450.35	7,459.59	6,000	124%
Liability Insurance	61-5-820-6800	134,702	0.00	136,049.15	132,000	103%
Lab Expense	61-5-820-6812	48,839	3,766.56	51,712.98	35,000	148%
Sludge Disposal	61-5-820-6814	11,396	4,889.97	16,893.17	15,000	113%
Office Supplies	61-5-820-7020	31,525	16,415.28	26,415.52	12,000	220%
Gas & Oil	61-5-820-7030	25,064	916.43	20,775.76	25,000	83%
Operating Supplies	61-5-820-7040	9,256	360.06	27,093.29	15,000	181%
Chemicals	61-5-820-7050	59,962	10,305.00	105,922.15	50,000	212%
Meters	61-5-820-7060	40,432	11,750.00	100,821.35	20,000	504%
Bad Debt Expense	61-5-820-7850	1,087	419.56	1,053.42	2,000	53%
Miscellaneous Expenses	61-5-820-7900	2,691	0.00	2,909.12	2,000	145%
Equipment	61-5-820-8200	0	0.00	0.00	0	0%
Operating Transfer Out	61-5-820-9999	0	0.00	0.00	0	0%
Depreciation Set Aside		255,000	21,250.00	255,000.00	255,000	100%
Bond Pmt Set Aside		123,000	10,250.00	123,000.00	123,000	100%
		2,452,305	200,496.99	2,402,538.83	2,252,761	107%
Sewer Department						
Collection System Expenses						
Salaries - Regular - FT	61-5-830-5010	366,974	27,774.22	369,617.63	329,085	112%
Overtime	61-5-830-5040	48,113	5,558.76	42,033.06	30,000	140%
FICA Sewer	61-5-830-5079	31,843	2,550.00	31,491.34	27,470	115%
IMRF	61-5-830-5120	40,884	1,636.64	29,024.00	32,342	90%
Group Health Insurance	61-5-830-5130	134,460	12,942.10	134,440.40	129,481	104%
Uniform Allowance	61-5-830-5140	4,508	324.50	6,305.81	6,600	96%
Rep & Maint - Infrastructure	61-5-830-6000	21,133	845.00	15,914.18	35,000	45%
Rep & Maint - Equipment	61-5-830-6020	8,014	0.00	12,857.28	14,000	92%
Rep & Maint - Vehicles	61-5-830-6030	14,773	0.00	7,676.71	20,000	38%
Office Equip Rent/Maint	61-5-830-6410	18,875	0.00	16,518.06	30,000	55%
Gas & Oil	61-5-830-7030	9,231	995.59	11,227.39	9,000	125%
Operating Supplies	61-5-830-7040	38,751	4,184.72	55,326.95	20,000	277%

Sewer Department

	Account #	Actual FY 22	Month of April	Actual FY 23	Budget FY 23	100% of Budget
Misc. Expense	61-5-830-7900	1,166	23.50	3,082.91	1,500	206%
Equipment	61-5-830-8200	0	0.00	0.00	0	0%
Total Sewer Department Expenses		3,139,935	257,332.02	3,138,054.55	2,937,239	107%
NET SEWER DEPARTMENT		(90,135)	21,143.19	(239,015.54)	30,472	
Change in Accounts Receivable		(4,403)		(4,402.85)	0.00	
Ending Cash & Investments		555,396		406,515.68	525,467	

Bond Reserves (necessary per bond ordinances) - was 06-15

Beginning Cash & Investments		32,842		39,451.00	0	
Additional reserves		0	0.00	0.00	450.00	0%
Interest Income		183	375.29	2,290.72	0	0%
Transfer Out: Bond Payment		0	0.00	0.00	0	0%
Ending Cash & Investments		39,451	375.29	41,741.72	450.00	

Connection Fees (plant expansion) / Deposits on Agreement (system extensions) Accounting - was 05-10

Beginning Cash & Investments		2,699,864		2,882,401.17	2,882,401	
Sources						
Interest Income		1,631	3,341.84	20,287.93	3,000	676%
Connection Fees	61-4-810-4510	190,752	(7,811.00)	151,508.00	50,000	303%
Deposits on Agreement	61-4-810-4520	5,280	(440.00)	3,345.00	3,000	112%
Connection Fees	61-4-820-4510	418,950	(22,122.00)	306,257.00	65,000	471%
Deposits on Agreement	61-4-820-4520	4,345	(200.00)	3,890.70	3,000	130%
Connection Fee Set-Aside		0	0.00	0.00	0	0%
TOTAL Sources		620,958	(27,231.16)	485,288.63	124,000	391%
Uses						
Construction in Progress - Water (1790)		438,421	0.00	9,320.00	0	0%
Construction in Progress - Sewer (1790)		0	9,575.00	78,737.26	0	0%
Equipment & Vehicles (1750)		0	0.00	0.00	0	0%
Recapture Refunds		0	0.00	0.00	0	0%
Land (1710)		0	0.00	0.00	0	0%
Loan to Depreciation Fund		0	0.00	0.00	0	0%
TOTAL Uses		438,421	9,575	88,057.26	0	0%
Ending Cash & Investments		2,882,401		3,279,632.54	3,006,401	

Line Item	Account #	Actual FY 22	Month of April	Actual FY 23	Budget FY 23	100% of Budget
Depreciation Funding - was 04-09 and 06-08						
Beginning Cash & Investments		1,291,267		1,418,567.33	1,199,268	
Sources						
Interest Income		1,330	2,701.23	16,393.76	5,100	321%
Loan Funds		0	0.00	0.00	0	0%
Grant		0	0.00	0.00	0	0%
Miscellaneous		0	0.00	0.00	0	0%
Depreciation set aside - Water (for Plant)		295,000	24,583.33	319,583.29	295,000	108%
Depreciation set aside - Water (for System)		0	0.00	0.00	0	0%
Depreciation set aside - Sewer (for System)		255,000	21,250.00	276,250.00	255,000	108%
Depreciation set aside - Sewer (for Repl)		0	0.00	0.00	0	0%
Loan From Connection Fees		0	0.00	0.00	0	0%
TOTAL Sources		551,330	48,534.56	612,227.05	555,100	110%
Uses						
Construction in Progress - Water (1790)		424,029	9,575.00	56,224.47	600,000	9%
Construction in Progress - Sewer (1790)		0	0.00	0.00	1,400,000	0%
Equipment & Vehicles (1750 & 1760)		0	0.00	0.00	40,000	0%
Buildings		0	0.00	0.00	0	0%
Transfer Out - Connection Fees Loan Payn		0	0.00	0.00	0	0%
Transfer Out- City Hall Roof		0	0.00	0.00	0	0%
TOTAL Uses		424,029	9,575	56,224.47	2,040,000	3%
Ending Cash & Investments		1,418,567		1,974,569.91	(285,632.00)	

Bond Payments Accounting - was 06-10 and 06-13

Beginning Cash & Investments		120,824		58,418.59	125,073	
Sources						
Interest Income		222	360.36	2,322.38	200	1161%
Bond Proceeds	61-4-110-4901	0	0.00	0.00	0	0%
Operating Transfers-In	61-4-110-9998	0	0.00	0.00	0	0%
Bond Pmt Set Aside		123,000	10,250.00	123,000.00	123,000	100%
TOTAL Sources		123,222	10,610.36	125,322.38	123,200	102%
Uses						
Debt Service - Principal	61-5-110-8910	161,515	0.00	54,624.37	108,914	50%
Interest Expense	61-5-110-8920	24,113	0.00	7,251.46	16,547	44%
Fiscal Charges	61-5-110-8930	0	0.00	0.00	0	0%
Bond Issuance Costs	61-5-110-9031	0	0.00	0.00	0	0%
TOTAL Uses		185,627	0.00	61,875.83	125,461	49%
Ending Cash & Investments		58,419		121,865.14	122,812.00	

City of Belvidere's CD INVESTMENTS AS OF :

04/30/23

Fund #	Where	Dated	Maturity	Rate	Amount	Term	Interest Due	Maturity Value	
01									
General									
Fund									
Acct#									
01-1150	Byron Bank	11/3/22	11/3/23	0.33%	23130	1,071,515.98	365	3,482.43	1,074,998.41
	Blackhawk	11/22/22	11/22/23	0.33%	70007372	1,004,408.47	365	3,264.33	1,007,672.80
	Byron Bank	11/18/22	11/18/23	0.33%	25320	1,119,302.87	365	3,637.73	1,122,940.60
	Byron Bank	5/19/22	5/19/23	0.30%	25954	1,009,443.56	365	3,028.33	1,012,471.89
	Byron Bank	10/2/22	10/2/23	0.30%	25634	1,006,763.24	365	3,020.29	1,009,783.53
ARPA	Byron Bank	9/26/22	8/26/23	0.30%	26344	1,710,788.18	334	4,696.47	1,715,484.65
General Fund Total						<u>6,922,222.30</u>		13,412.82	
MFT									
Fund	Byron	3/30/23	2/28/24	0.30%	25930	503,380.05	335	1,386.02	504,766.07
Acct #									
10-1150									
61									
Water	Byron	5/9/22	5/9/23	0.30%	25952	917,363.96	365	2,752.09	920,116.05
Sewer	Byron	12/30/22	11/30/23	0.43%	23707	396,889.61	335	1,548.14	398,437.75
Acct#	Stillman Bank	8/29/22	8/29/24	0.32%	6300240	1,056,528.41	731	6,665.25	1,063,193.66
61-1150									
Water/Sewer Total						<u>2,370,781.98</u>		10,965.48	
Total						<u>9,796,384.33</u>		24,378.30	

Midland States Bank	0.00
Blackhawk	1,004,408.47
First National Bank	0.00
Stillman Bank	1,056,528.41
Byron Bank	<u>7,735,447.45</u>
	<u>9,796,384.33</u>

Blackhawk Money Markets (2.25%)	7,753,074.42
Midland States Bank Sweep Accts (3.5%)	4,463,947.07
IMET (Illinois Metropolitan Investment Fund)	2,418,011.60
Illinois Funds	7,820,526.82

**CITY OF BELVIDERE
PLANNING AND ZONING COMMISSION**

Minutes

**Tuesday, May 9, 2023
City Council Chambers
401 Whitney Boulevard
6:00 pm**

ROLL CALL

Members Present:

Paul Engelman, Chair
Alissa Maher
Bob Cantrell
Dan Druckrey Vice-Chair
Art Hyland

Staff Present:

Gina DelRose, Community Development Planner
Kimberly Whitt, Administrative Assistant
Mike Drella, City Attorney

Members Absent:

Carl Gnewuch
Brad Anderson

The meeting was called to order at 6:02 p.m.

MINUTES: It was moved and seconded (Hyland/Cantrell) to approve the minutes of the March 14, 2023 meeting. The motion carried with a 5-0 roll call vote.

PUBLIC COMMENT: None

UNFINISHED BUSINESS: None

NEW BUSINESS:

2023-12: Manhard Consulting, Ltd, Crosslink Business Park No. 2 (FP):
Application of William Hupperich (Manhard Consulting, Ltd) for final plat approval for Crosslink Business Park No. 2 Subdivision. The plat consists of 4 lots comprised of approximately 205 acres. PINs: 05-34-326-004; 05-34-326-002; 05-34-376-001; 05-34-327-003; 05-34-327-002; 05-34-400-008; 05-34-376-003; 05-34-400-009; 05-34-400-010; and 05-34-200-027.

Gina DelRose summarized the staff report dated May 4, 2023 and stated staff recommends approves for case 2023-12 subject to 17 conditions.

Question was presented to Gina DelRose regarding Boone County Conservation District protection zone for Well #8. Ms. DelRose explained that the EPA limits development within 400 ft of the well. Buildings, outdoor storage, etc. is permitted because of increased risk of groundwater contamination but detention ponds are acceptable within the 400 ft buffer zone.

The applicant was present and also explained that the EPA has very specific codes. Manhard believes that they not only meet these requirements but are exceeding them.

It was moved and seconded (Hyland/Cantrell) to recommend approval of Case 2023-12 subject to conditions as presented by staff. The motion carried with a 5-0 roll call vote.

2023-13: May's Belvidere, LLC (SU): Application of May's Belvidere LLC, 100 W. Higgins Road #H71, South Barrington, IL 60010 on behalf of the property, Belvidere Retail, LLC, 5277 Trillium Boulevard, Hoffman Estates, IL 60192 for a special use to permit indoor commercial entertainment which includes a bar and video gaming at 1868 Crystal Parkway, Belvidere, IL 61008 (Belvidere Zoning Ordinance Sections 150.105(C)(4)(B)(2) Indoor Commercial Entertainment and 150.904 Special Use Review and Approval Procedures) in the PB, Planned Business District on approximately 1.5 acres. PIN: 08-06-152-004

PUBLIC HEARING FOR CASE 2023-13 OPENED : 6:18 PM

Ms. Gina DelRose was sworn in. Ms. DelRose stated the case was published in the Boone County Journal on April 20, 2023 and notifications were sent by certified mail to property owners within 250 feet of the subject property on April 18, 2023. Ms. DelRose summarized the staff report dated May 2, 2023 and stated the recommendation is for approval of case #2023-13 for a special use to permit indoor commercial entertainment which included video gaming at 1868 Crystal Parkway, Belvidere, IL 61008. PIN: 08-06-152-004.

Gina DelRose stated that even though the 40 licenses for gaming in Boone County have been filled, Belvidere Retail was approved for 4 gaming licenses in their annexation agreement. May's will be in the same strip mall as the dispensary.

Applicant was present.

Zach Heidner was sworn in at 6:28 pm. Mr. Heidner explained they currently have 19 locations. They strive to be above compliance. Mr Heidner also explained the process after City Council approval will take 3 to 6 months. First they will apply/receive the local liquor license, then they apply/receive the State of Illinois liquor license. After being approved for both local and state licenses, then they apply/receive the Illinois Gaming Board license.

No questions or testimony from the audience for Case #2023-13.

PUBLIC HEARING FOR CASE 2023-13 CLOSED: 6:32 PM

It was moved and seconded (Maher/Cantrell) to approve the findings of fact as presented by staff. The motion carried with a 5-0 roll call vote.

It was moved and seconded (Maher/Druckrey) to recommend approval of Case 2023-13 subject to conditions as presented by staff. The motion carried with a 5-0 roll call vote.

Gina DelRose stated the case would go to City Council on May 15, 2023 and on June 5, 2023 for a second reading and final vote.

Staff Report: Gina DelRose informed the commission there is currently one case for the June 13, 2023 meeting. Ms. DelRose also stated that a contract has been signed with a consultant to start The Comprehensive Plan update.

ADJOURNMENT:

Motion to adjourn meeting was moved and seconded (Hyland/Cantrell). The motion carried with a voice vote.

The meeting adjourned at 6:39 p.m.

Recorded by:

Reviewed by:

Kimberly Whitt
Administrative Assistant

Gina DelRose
Community Development Planner

City of Belvidere
Committee of the Whole
Building, Planning, Zoning and Public Works
Minutes

Date: May 8, 2023

Convened in the Belvidere Council Chambers, 401 Whitney Blvd., Belvidere Illinois at 6:00p.m.

Call to Order – Mayor Clinton Morris.

Roll Call:

Present: J. Albertini, R. Brereton, M. Fleury, W. Frank, M. McGee,
S. Prather and D. Snow.

Absent: M. Freeman, N. Mulhall and T. Porter

Other staff members in attendance:

Director of Buildings Kip Countryman, Community Development Planner Gina DelRose, Public Works Director Brent Anderson, Budget and Finance Officer Shannon Hansen, Fire Chief Shawn Schadle, City Attorney Mike Drella and City Clerk Sarah Turnipseed.

Public Comment: Fire Chief Schadle invited Aldermen to attend the Swearing-in of new Firefighter Jason Jankowski on May 22, 2023 at 10:00a.m and to attend the Promotional Swearing-in of Nic Thornton to Fire Lieutenant and Jason Swanson Fire Captain on June 5th at 10:00a.m.

Public Forum: None.

Reports of Officers, Boards and Special Committees:

1. Building, Planning & Zoning, Unfinished Business: None.
2. Building, Planning & Zoning, New Business:
(A) Building Department - Update.

Director of Buildings Kip Countryman presented an update. Discussion took place concerning update.

2. Building, Planning & Zoning, New Business:

(B) Planning & Zoning Department - Update.

Community Development Planner Gina DelRose presented an update. Discussion took place concerning update.

(C) Appointment of Kim Coniglio to the Belvidere Historic Preservation Commission.

Motion by Ald. Snow, 2nd by Ald. Fleury to consent to and approve the appointment of Kim Coniglio to the Belvidere Historic Preservation Commission for a three-year term, ending in April 30, 2026. Discussion took place concerning conflict of interest. Aye voice vote carried. Motion carried.

3. Public Works, Unfinished Business: None.

4. Public Works, New Business:

(A) Public Works – Update.

Public Works Director Brent Anderson presented an update. Discussion took place concerning update.

(B) Intersection Review – Grover Street and Biester Drive.

Motion by Ald. Prather, 2nd by Ald. Albertini to approve the installation of yield signs on Grover Street at the intersection of Biester Drive. Aye voice vote carried. Motion carried.

(C) 2023 MFT Maintenance Program

Motion by Ald. Frank, 2nd by Ald. McGee to approve the 2023 Street Maintenance Program as proposed in the Memo dated May 4, 2023. Aye voice vote carried. Motion carried.

(D) Irene and Hawkey Water Main Extension – Bid Tabulation.

Motion by Ald. Snow, 2nd by Ald. Prather to approve the low bid from Northern Illinois Service, in the amount of \$706,478.50, for the Irene - Hawkey 16” water main extension. This work will be paid for from Line Item #61-4-810-4510, Connection Fees and DCEO Grant Funds. Aye voice vote carried. Motion carried.

(E) Irene Road Realignment Project – Construction Engineering

Motion by Ald. Albertini, 2nd by Ald. McGee to approve of the proposal from CES, Inc, in an amount not-to-exceed \$105,200.00, to complete the construction engineering for the Irene

Road Realignment Project. This work will be paid for from capital funds with reimbursement from grant funds. Aye voice vote carried. Motion carried.

5. Other:

A. Fire Department – Station 1 Windows Replacement.

Motion by Ald. Fleury, 2nd by Ald. Snow to approve the low bid from Window World to replace 5 windows at Fire Station 1 at a cost of \$6,252.00 to be paid for out of line item 01-05-220-6010. Discussion took place concerning cost, location of windows and warranties. Aye voice vote carried. Motion carried.

B. Fire Department – Outfit 160 for ALS/Water Rescue.

Motion by Ald. Fleury, 2nd by Ald. Prather to outfit 160 for ALS and Water Rescue response not to exceed \$16,500.00 to be paid for out of the Capital Fund. Aye voice vote carried. Motion carried.

C. Corpus Christi Process Parade Request.

Motion by Ald. Frank, 2nd by Ald. McGee to approve the Corpus Christi Procession parade permit request from St. James Catholic Church for June 11, 2023. Aye voice vote carried. Motion carried.

6. Adjournment:

Motion by Ald. Frank, 2nd by Ald. Albertini to adjourn at 6:37p.m. Aye voice vote carried. Motion carried.

_____ Mayor

Attest: _____ City Clerk

ORDINANCE #626H

AN ORDINANCE AUTHORIZING THE SALE OF CERTAIN PERSONAL PROPERTY
(POLICE DEPARTMENT VEHICLES)

WHEREAS, the City of Belvidere Police Department is in possession of certain used vehicles, described in Exhibit A that are no longer needed or useful; and

WHEREAS, the Vehicles constitutes surplus personal property within the meaning of 65 ILCS 5/11-76-4; and

WHEREAS, the Corporate Authorities of the City find that the previously referenced Vehicles are no longer necessary or useful to or in the best interest of the City.

NOW THEREFORE IT IS ORDAINED by the CITY COUNCIL of the City of Belvidere, Boone County Illinois, as follows:

SECTION 1: The foregoing recitals are incorporated herein as if fully set forth.

SECTION 2: The Mayor, or his designee, is authorized and directed to sell the Vehicles identified in Exhibit A by any means authorized by State Statute, including but not limited to an internet auction site, other auction methods, or trade in for new vehicles.

SECTION 4: If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 5: All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 6: This Ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as required by law which publication is hereby authorized.

Ayes:

Nays: .

Absent: .

APPROVED:

Mayor Clinton Morris

(SEAL)

ATTEST: City Clerk Sarah Turnipseed

Passed:
Approved:
Published:

EXHIBIT A

- 1. 2008 Dodge Durango 1D8DB38NX8F155794**
- 2. 2016 Kia Sorento 5XYPGDA55GG139234**
- 3. 2004 Dodge Intrepid 2B3HD46VX4H701956**
- 4. 2009 Dodge Charger 2B3KA43V29H523924**
- 5. 2006 Cherokee TT 4X4TCKD265P094681**

ORDINANCE NO. 627H

**AN ORDINANCE APPROVING
A FINAL PLAT TITLED
CROSSLINK BUSINESS PARK NO. 2 SUBDIVISION**

WHEREAS, the City of Belvidere has adopted a Subdivision Ordinance (Chapter 151 of the Belvidere Municipal Code) in accordance with the provisions of Illinois Compiled Statutes to regulate the division of land and specify the minimum requirements for public improvements on land in the City of Belvidere; and,

WHEREAS, the applicant, William Hupperich (Manhard Consulting, Ltd), 1 Overlook Point, Suite 290, Lincolnshire, Illinois 60069 on behalf of the owners (described in the attached subdivision plat [hereof referenced as Attachment A]), has petitioned the City of Belvidere for approval of the final plat titled Crosslink Business Park No. 2 Subdivision.

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELVIDERE, BOONE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. That the attached Final Plat titled Crosslink Business Park No. 2 Subdivision be, and is hereby approved, subject to the following conditions:

1. A Plat of Vacation for the portions of Morriem Drive and Crosslink Parkway being vacated shall be recorded.
2. Per Section 151.30.a.2 of the Belvidere Subdivision Code, an affidavit of ownership which shall include the dates the respective holdings of land were acquired together with the book and page of each conveyance to the present owner as recorded in the County Recorder of the Deed's office.
3. Per Section 151.40.d of the Belvidere Subdivision Code, existing monuments shall be shown or called out on existing boundaries, boundary corners and section corners.
4. Surveyor Note 4 shall be updated to state that all property is zoned HI, Heavy Industrial District.
5. The Surveyor's Certificate Block and Owner's Certificate Blocks shall be revised to mirror the language found in Appendix A of the Belvidere Subdivision Code.
6. The School District Certificate Block(s) shall read: I (we) hereby certify that the property herein described in the surveyor's certificate to the best of my knowledge is located within the boundaries of School District No. 100 in Boone County, IL.
7. If the wetland delineated lines are a restrictive line, then the lines shall be dimensioned so they can be plotted by others.

8. All proposed easements shall be dimensioned with bearings and distances so they can be plotted by others.
9. The existing 30' wide ingress/egress easement recorded as Document No 2011R07268 shall be vacated.
10. A portion of this property is covered by water recapture Ordinance #343G. The following recapture fee shall be paid prior to recorded of the final plat: 124.04 Acres @ \$2,230.00/Acres = \$276,609.20.
11. A drainage overlay shall be submitted.
12. All public improvements shall be completed in accordance with approved construction plans for the development. An engineer's estimate of cost for the public improvements to be completed as a part of this project shall be submitted along with the construction plans for the development.
13. A Performance Bond or Letter-of-Credit is required for all public improvements on forms provided by the City and must be submitted prior to the recording of the Final Plat or prior to the approval and release of the construction plans for the development by the Director of Public Works.
14. A construction inspection fee in the amount of three percent of the approved engineer's estimate of costs for the public improvements must be paid to the City Clerk prior to approval and release of the construction plans for the development by the Director of Public Works.
15. The revised plat shall be presented to the planning department for review and approval before any signatures are obtained.
16. The plat shall be recorded with the County Recorder of Deeds within 90 days of City Council approval, unless a plat-recording extension is granted.
17. The plat shall be in compliance with all applicable codes, ordinances, and agreements

Section 2. That the Mayor and City Clerk are hereby authorized and directed to execute the plat upon presentment of a proper guarantee for the construction of the required subdivision improvements and payment of the construction inspection fee in accordance with the Belvidere Subdivision Ordinance.

Section 3. That the City Clerk is hereby authorized and directed to cause the final plat to be recorded with the Boone County Recorder of Deeds after the plat is properly executed by all of the officers of the City of Belvidere.

Section 4. That this Ordinance shall be in full force and effect from and after its passage as provided by local law and pursuant to Illinois State Statutes. This written and foregoing Ordinance is published by authority of the corporate authorities of the City of Belvidere in pamphlet form on this date.

PASSED by the City Council of the City of Belvidere this _____ day of _____, 2023.

APPROVED by the Mayor of the City of Belvidere this _____ day of _____, 2023.

Clint Morris, Mayor

ATTEST:

Sarah Turnipseed, City Clerk

Ayes: _____ Nays: _____ Absent: _____

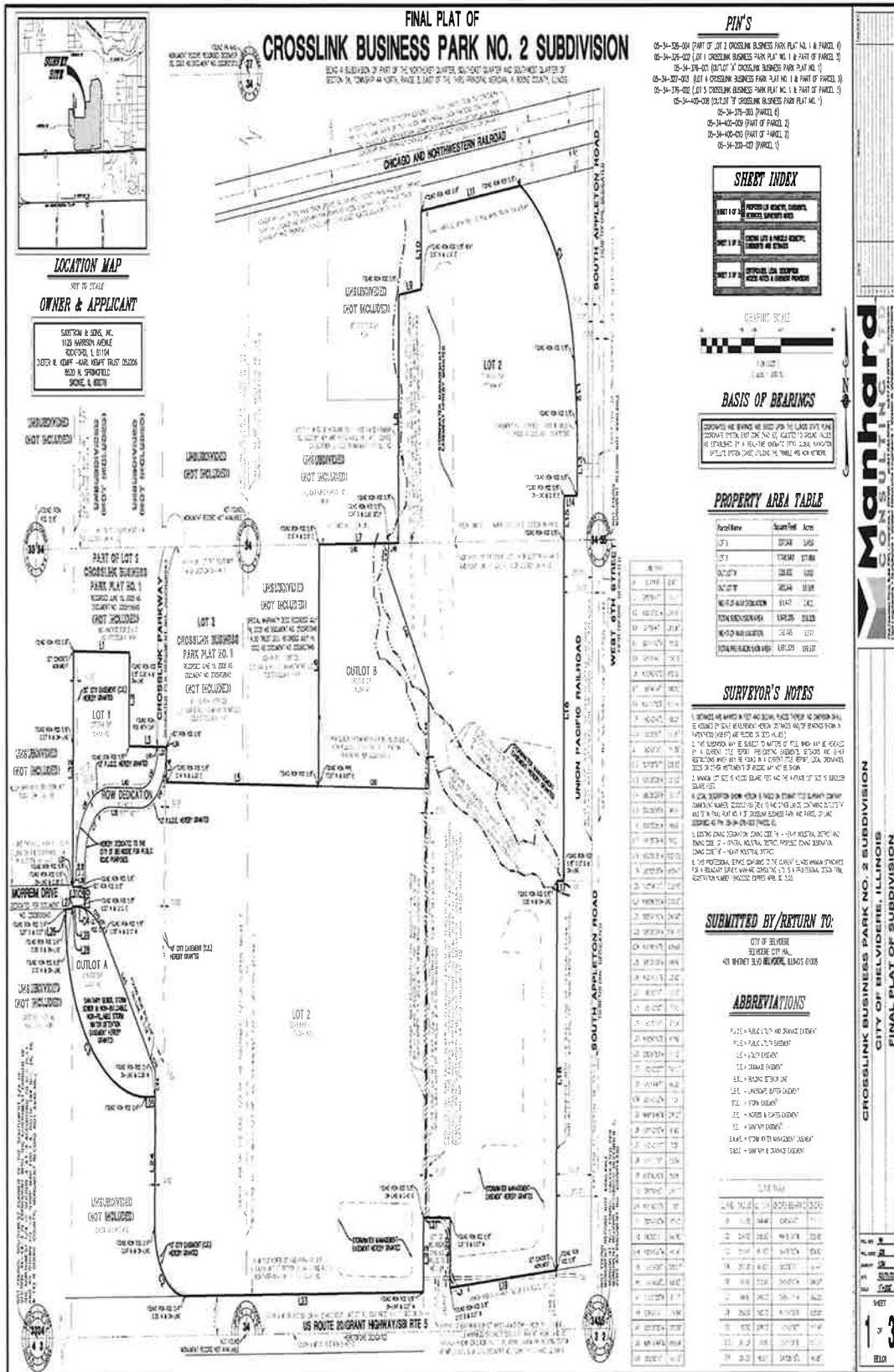
City Council Members Voting Aye:

City Council Members Voting Nay:

Date Published:

Sponsor: _____

ATTACHMENT A



MEMO

DATE: May 10, 2023
TO: Mayor and Members of the City Council
FROM: City of Belvidere Planning and Zoning Commission
SUBJECT: Recommendation for Case 2023-12, Crosslink Business Park No. 2 (FP)

REQUEST:

The subject property is located northwest of South Appleton Road and Grant Highway and encompasses portions of the original Crosslink Business Park preliminary plat and the Kempf property (currently being rezoned to heavy industrial). It is approximately 205 acres in size and is in row crop production with a creek and some woodlands (see attached aerial photo). PINs: 05-34-326-004; 05-34-326-002; 05-34-376-001; 05-34-327-003; 05-34-327-002; 05-34-400-008; 05-34-376-003; 05-34-400-009; 05-34-400-010; and 05-34-200-027.

RECOMMENDATION:

The planning and zoning commission recommended the **approval** of case number **2023-12** subject to the following conditions:

1. A Plat of Vacation for the portions of Morriem Drive and Crosslink Parkway being vacated shall be recorded.
2. Per Section 151.30.a.2 of the Belvidere Subdivision Code, an affidavit of ownership which shall include the dates the respective holdings of land were acquired together with the book and page of each conveyance to the present owner as recorded in the County Recorder of the Deed's office.
3. Per Section 151.40.d of the Belvidere Subdivision Code, existing monuments shall be shown or called out on existing boundaries, boundary corners and section corners.
4. Surveyor Note 4 shall be updated to state that all property is zoned HI, Heavy Industrial District.
5. The Surveyor's Certificate Block and Owner's Certificate Blocks shall be revised to mirror the language found in Appendix A of the Belvidere Subdivision Code.
6. The School District Certificate Block(s) shall read: I (we) hereby certify that the property herein described in the surveyor's certificate to the best of my knowledge is located within the boundaries of School District No. 100 in Boone County, IL.
7. If the wetland delineated lines are a restrictive line, then the lines shall be dimensioned so they can be plotted by others.
8. All proposed easements shall be dimensioned with bearings and distances so they can be plotted by others.
9. The existing 30' wide ingress/egress easement recorded as Document No 2011R07268 shall be vacated.
10. A portion of this property is covered by water recapture Ordinance #343G. The following recapture fee shall be paid prior to recorded of the final plat: 124.04 Acres @ \$2,230.00/Acres = \$276,609.20.
11. A drainage overlay shall be submitted.

12. All public improvements shall be completed in accordance with approved construction plans for the development. An engineer's estimate of cost for the public improvements to be completed as a part of this project shall be submitted along with the construction plans for the development.
13. A Performance Bond or Letter-of-Credit is required for all public improvements on forms provided by the City and must be submitted prior to the recording of the Final Plat or prior to the approval and release of the construction plans for the development by the Director of Public Works.
14. A construction inspection fee in the amount of three percent of the approved engineer's estimate of costs for the public improvements must be paid to the City Clerk prior to approval and release of the construction plans for the development by the Director of Public Works.
15. The revised plat shall be presented to the planning department for review and approval before any signatures are obtained.
16. The plat shall be recorded with the County Recorder of Deeds within 90 days of City Council approval, unless a plat-recording extension is granted.
17. The plat shall be in compliance with all applicable codes, ordinances, and agreements

Motion to approve case 2023-12; Crosslink Business Park No. 2 (FP) subject to the conditions as presented carried with a (5-0) roll call vote.

Paul Engelman, Chairman
Belvidere Planning and Zoning Commission

CITY OF BELVIDERE

Community Development



BUILDING DEPARTMENT

PLANNING DEPARTMENT

401 WHITNEY BLVD. SUITE 300 BELVIDERE, IL 61008 * PH (815)547-7177 FAX (815)547-0789

May 4, 2023

ADVISORY REPORT

CASE NUMBER: 2023-12

APPLICANT: Crosslink Business Park No. 2, FP

REQUEST:

The applicant is requesting final plat approval of the 4-lot Crosslink Business Park No. 2 Subdivision.

LOCATION AND DESCRIPTION OF SITE:

The subject property is located northwest of South Appleton Road and Grant Highway and encompasses portions of the original Crosslink Business Park preliminary plat and the Kempf property (currently being rezoned to heavy industrial). It is approximately 205 acres in size and is in row crop production with a creek and some woodlands (see attached aerial photo). PINs: 05-34-326-004; 05-34-326-002; 05-34-376-001; 05-34-327-003; 05-34-327-002; 05-34-400-008; 05-34-376-003; 05-34-400-009; 05-34-400-010; and 05-34-200-027.

BACKGROUND:

The original preliminary plat for Crosslink Business Park was approved in 2004 and encompassed approximately 176 acres and was comprised of 15 lots (2 being outlots) ranging from 7.5 to 27 acres. Shortly after the preliminary plat was approved, approximately 60 acres were final platted into 5 buildable lots and 2 outlots. It appears that the State Plat Act was used to adjust two of the lots within the final plat at a later date. Although at the time of platting the lot sizes were considered adequate, the current trend for industrial development requires larger lot sizes.

A new preliminary plat that included the 55.5 acre parcel to the northeast of the original Crosslink Business Park was approved February, 2023. Noticeable differences between the two preliminary plats was the road configuration in order to accommodate the size of Lot 2. Sjoström Drive was removed, portions of Morriem Drive were vacated and Crosslink Parkway is being re-aligned. In order to achieve the new road layout and adequate access to existing buildings a deviation to the subdivision code was required. This deviation is part of the planned development that was approved and allows the centerline radius of a horizontal curve to be reduced from 300 feet to 160 feet. The applicant is also requesting that the requirement for sidewalks be waived considering that they were waived in the first final plat.

The final plat encompasses 205 acres and incorporates the changes made in the recently approved preliminary plat. The two original outlots will remain the same, Lot 1 is a 5.465 acre

2023-12; Crosslink Business Park No. 2 Subdivision Final Plat

lot to the west of Crosslink Parkway and Lot 2 is 177.884 acres and has an approved planned development for a distribution center per Ordinance 609H. A sanitary sewer line that primarily services Stellantis runs north-south through the property. Sjoström Drive was originally intended to be constructed over the sanitary sewer, an easement is being placed on the plat instead. As Lot 2 is developed, certain construction will be restricted within the easement area.

A request for comments was sent to 18 departments, agencies, or other parties. Comments received were either addressed by the applicant or have been incorporated into the recommended conditions of approval.

SUMMARY OF FINDINGS:

Provided that the suggested conditions of approval are met, the Final Plat of Crosslink Business Park No. 2 Subdivision is in conformance with the City of Belvidere's Subdivision Code and Zoning Ordinances.

RECOMMENDATION:

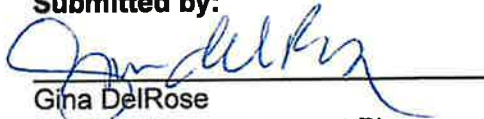
Planning staff recommends the **approval** of the final plat for Crosslink Business Park No. 2 Subdivision (case number **2023-12**) subject to the following conditions:

1. A Plat of Vacation for the portions of Morriem Drive and Crosslink Parkway being vacated shall be recorded.
2. Per Section 151.30.a.2 of the Belvidere Subdivision Code, an affidavit of ownership which shall include the dates the respective holdings of land were acquired together with the book and page of each conveyance to the present owner as recorded in the County Recorder of the Deed's office.
3. Per Section 151.40.d of the Belvidere Subdivision Code, existing monuments shall be shown or called out on existing boundaries, boundary corners and section corners.
4. Surveyor Note 4 shall be updated to state that all property is zoned HI, Heavy Industrial District.
5. The Surveyor's Certificate Block and Owner's Certificate Blocks shall be revised to mirror the language found in Appendix A of the Belvidere Subdivision Code.
6. The School District Certificate Block(s) shall read: I (we) hereby certify that the property herein described in the surveyor's certificate to the best of my knowledge is located within the boundaries of School District No. 100 in Boone County, IL.
7. If the wetland delineated lines are a restrictive line, then the lines shall be dimensioned so they can be plotted by others.
8. All proposed easements shall be dimensioned with bearings and distances so they can be plotted by others.
9. The existing 30' wide ingress/egress easement recorded as Document No 2011R07268 shall be vacated.
10. A portion of this property is covered by water recapture Ordinance #343G. The following recapture fee shall be paid prior to recorded of the final plat: 124.04 Acres @ \$2,230.00/Acres + \$276.609.20.
11. A drainage overlay shall be submitted.
12. All public improvements shall be completed in accordance with approved construction plans for the development. An engineer's estimate of cost for the public improvements to be completed as a part of this project shall be submitted along with the construction plans for the development.
13. A Performance Bond or Letter-of-Credit is required for all public improvements on forms provided by the City and must be submitted prior to the recording of the Final Plat or prior to the approval and release of the construction plans for the development by the Director of Public Works.

2023-12; Crosslink Business Park No. 2 Subdivision Final Plat

14. A construction inspection fee in the amount of three percent of the approved engineer's estimate of costs for the public improvements must be paid to the City Clerk prior to approval and release of the construction plans for the development by the Director of Public Works.
15. The revised plat shall be presented to the planning department for review and approval before any signatures are obtained.
16. The plat shall be recorded with the County Recorder of Deeds within 90 days of City Council approval, unless a plat-recording extension is granted.
17. The plat shall be in compliance with all applicable codes, ordinances, and agreements

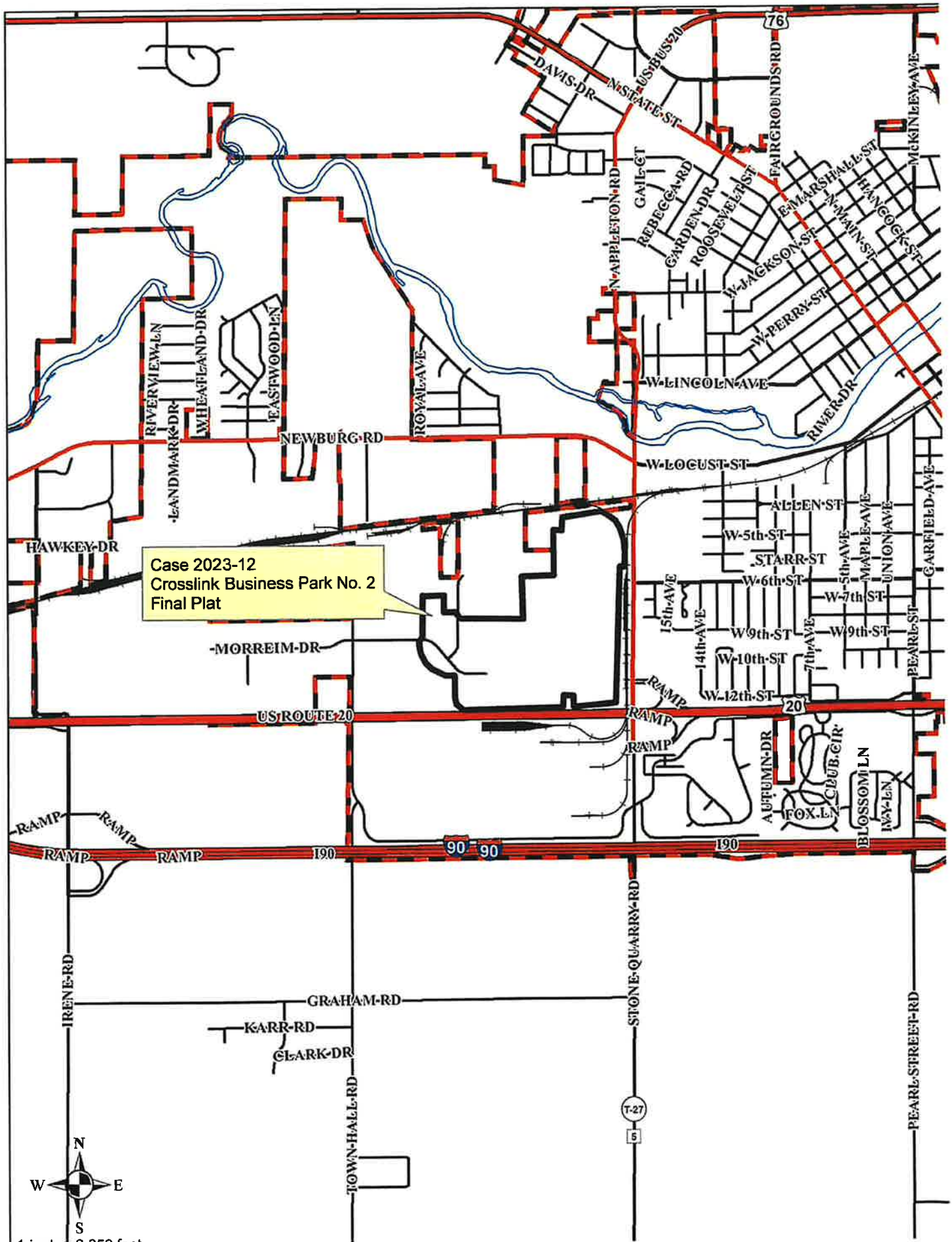
Submitted by:


Gina DelRose
Community Development Planner

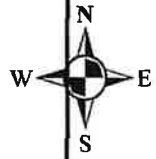
2023-12; Crosslink Business Park No. 2 Subdivision Final Plat

ATTACHMENTS

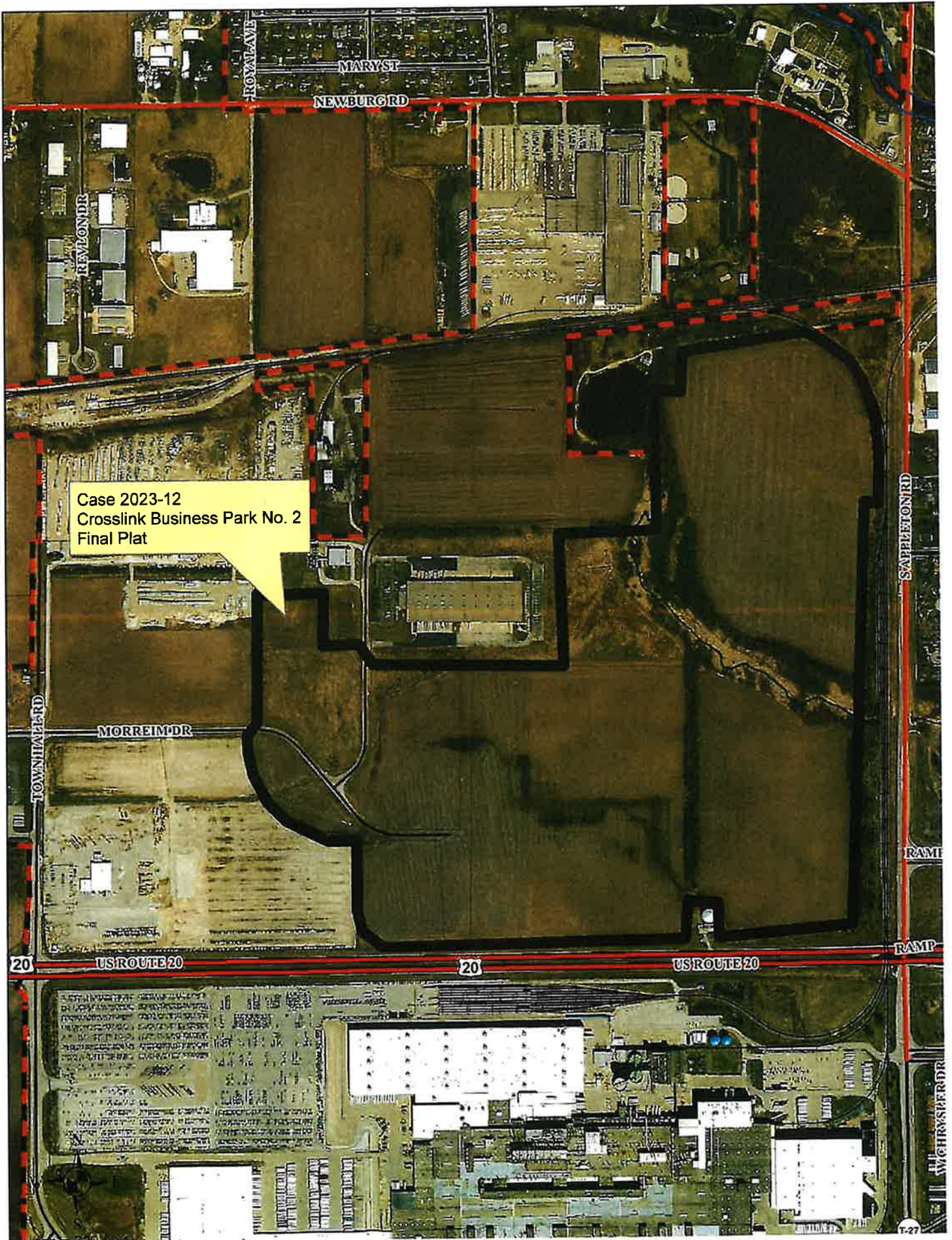
1. Location Map by Planning Staff.
2. Aerial Photo with Platting by Planning Staff.
3. E-mail from Comcast Cable, Ted Wyman, April 11, 2023.
4. E-mail from Nicor Gas, Rebecca Luginbill, April 17, 2023.
5. Letter from Hampton, Lenzini and Renwick, Inc., Alex Riegler, May 1, 2023.
6. Memo from Belvidere Public Works Department, Brent Anderson, May 4, 2023.
7. Information provided by Boone County Conservation District, Dan Kane, April 23, 2023.
8. Final Plat for Crosslink Business Park Plat No. 2 Subdivision by Manhard Consulting, LTD, dated March 31, 2023.



Case 2023-12
 Crosslink Business Park No. 2
 Final Plat



1 inch = 250 feet



Case 2023-12
Crosslink Business Park No. 2
Final Plat

Gina Delrose

From: Wyman, Ted <Ted_Wyman@comcast.com>
Sent: Tuesday, April 11, 2023 3:17 PM
To: Gina Delrose
Subject: RE: additional crosslink information

This message originated from an **External Source**. DO NOT click links or open attachments unless you recognize the sender and know the content is safe.

Gina,

Ok, sounds good. Comcast doesn't have any objections to the vacations and is ok on the granted locations of utility easements and easement provision language. Therefore, we are good to sign off.

Whenever they are ready to do so, please have the representative contact me to schedule a day and time for sign-off on the plat for Comcast.

If you have any questions in regards to this information, please don't hesitate to contact me.

Sincerely,

Ted Wyman
Comcast Cable
Right-of-Way Engineer
688 Industrial Drive
Elmhurst, IL 60126
Phone: (224) 229-5850 office (847) 652-6074 cell
Fax: (630) 359-5482
Ted_Wyman@comcast.com

From: Gina Delrose <gdelrose@ci.belvidere.il.us>
Sent: Tuesday, April 11, 2023 3:10 PM
To: Wyman, Ted <Ted_Wyman@cable.comcast.com>
Subject: [EXTERNAL] RE: additional crosslink information

Ted-

Thanks!

Outlot B is a stormwater detention lot so it is not considered buildable.

Gina DelRose

Community Development Planner
City of Belvidere
401 Whitney Boulevard, 61008
(o) 815-547-7177

Gina Delrose

From: Luginbill, Rebecca <X2RLUGIN@SOUTHERNCO.COM>
Sent: Monday, April 17, 2023 10:11 AM
To: Gina Delrose
Cc: Andersen, Erin K.
Subject: 2023-12 Crosslink Business Park 2 Subdivision (Final Plat)
Attachments: Nicor Atlas_R60344.PDF; Nicor Atlas_R60343.PDF

This message originated from an **External Source**. DO NOT click links or open attachments unless you recognize the sender and know the content is safe.

Gina DelRose –

In response to your request for comments on the Plat forwarded to Nicor for Crosslink Business Park 2 Subdivision:

- I have attached two Nicor Atlas Pages that cover the area in question showing where Nicor has active Main. This can be forwarded to the developer for planning purposes.
- In order to Vacate a portion of Morreim Drive – The developer will need to submit a request to Nicor to relocate or retire active main. We cannot vacate with active pipe in the roadway. I have included the clip below indicating approximate location of current active pipe in Morreim Drive and Crosslink Parkway.
- It is possible that the developer has already submitted this request to Nicor but I wanted to make sure you have the information if needed:
For gas service retirements: Please call **1-888-NICOR-4-U** to schedule relocation of those facilities or go to <https://www.nicorgas.com/business.html>



Rebecca Luginbill
Land Management
Nicor Gas Company
1844 Ferry Road
Naperville, IL 60563
x2rlugin@southernco.com



CALL [800 CALL BEFORE YOU DIG!](https://www.800callbeforeyoudig.com)



- Facility Legend**
- Transmission Main
 - MCP Main
 - High Pressure Main
 - Low Pressure Main
 - Service Line
 - Foreign Pipeline

BOONE COUNTY



ATLAS SCALE 1" = 200'

0 50 100 200 300 400 Feet

CALL JULIE
 800.445.4455
 48 Hours Before You Dig

NEED AN APPROVED LOCATION FOR YOUR UTILITIES?
 THE CONCRETE AND COULDS OF ABOVE GROUND UTILITIES ARE NOT INTENDED FOR DESIGN PURPOSES ONLY AND ARE NOT INTENDED FOR USE AS FIELD LOCATIONS. APPROXIMATE LOCATIONS ARE SHOWN FOR INFORMATION ONLY. CONTACT THE DESIGNER FOR MORE INFORMATION. APPROXIMATE LOCATIONS ARE SHOWN FOR INFORMATION ONLY. CONTACT THE DESIGNER FOR MORE INFORMATION.

DATE UPDATED: 08/22/2011

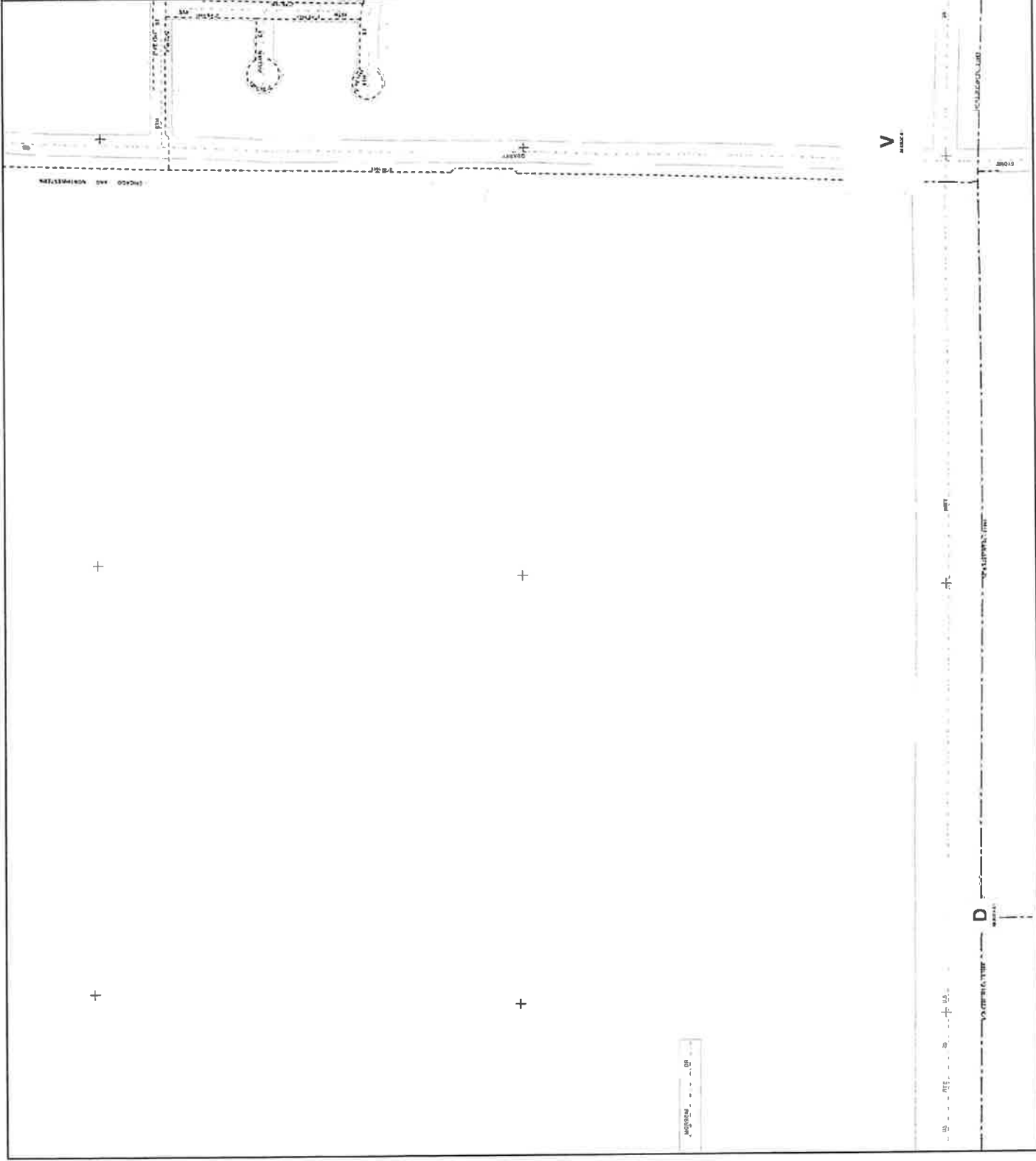
BOONE COUNTY

TOWNSHIP: BELLEVUE

1	2	3	4
SECTION	SECTION	SECTION	SECTION
ADJACENT	ADJACENT	ADJACENT	ADJACENT

T44N R03E 3PM

R60344





Facility Legend

- Transmission Main
- MOP Main
- High Pressure Main
- Low Pressure Main
- Service Line
- Foreign Pipeline

BOONE COUNTY

Manhole	Utility
Chimney	Power Utility
Valve	Well
Well	Spring



0 50 100 200 300 400 Feet
ATLAS SCALE 1" = 200'

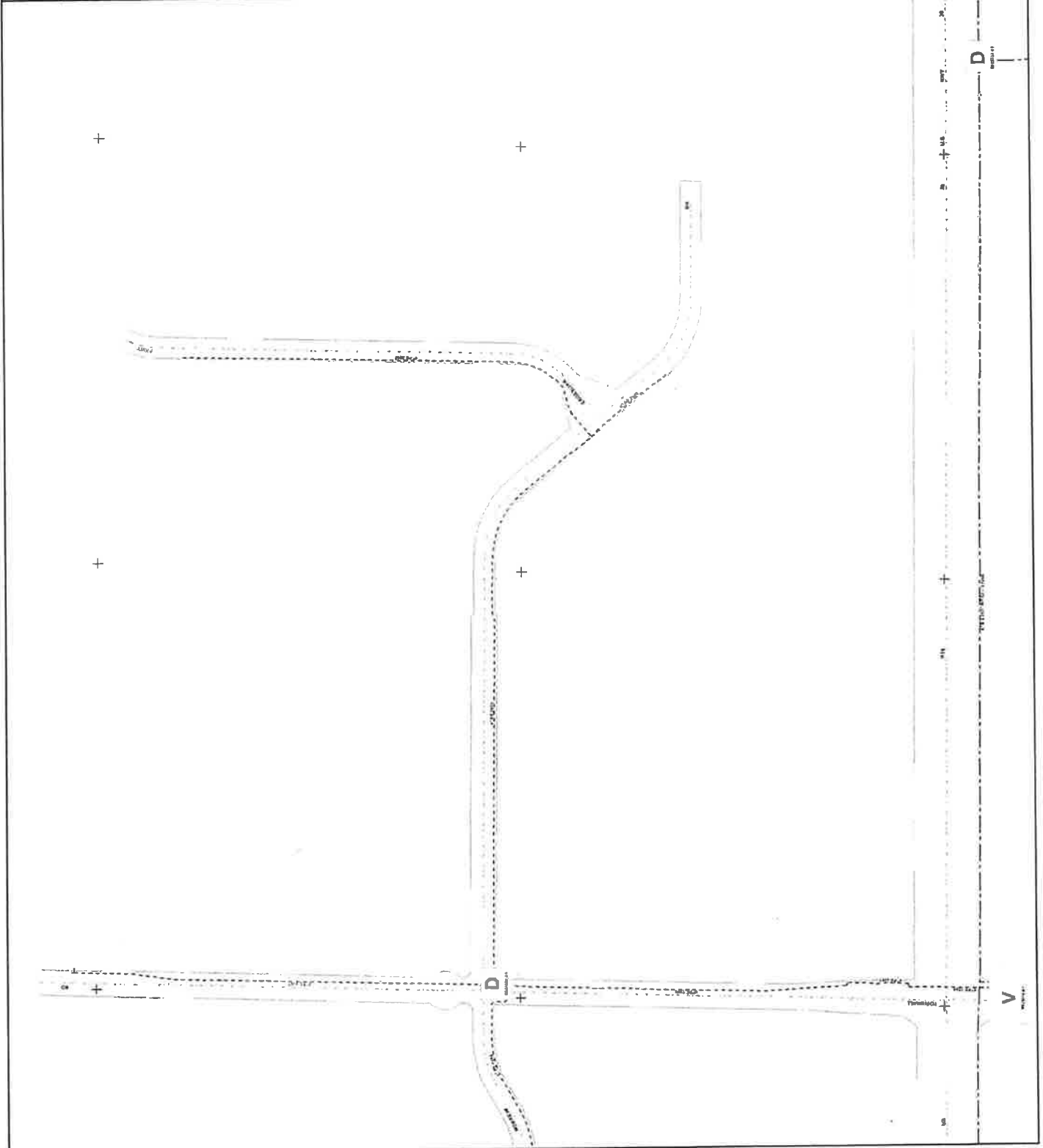
CALL JULIE
 800-368-7272
 48 Hours Before You Dig

48 Hours Before You Dig
 THE COMPANY'S LOCATION OF UNDERGROUND UTILITIES IS FOR INFORMATION ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES ONLY. THE COMPANY IS NOT RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES OR FOR ANY DELAYS TO ANY PROJECTS CAUSED BY ANY UNEXPECTED UTILITIES. CALL JULIE AT 800-368-7272 PRIOR TO CONSTRUCTION FOR COORDINATION OF UNDERGROUND UTILITIES. 311 OR 800-368-7272.

DATE UPDATED: 08/22/2011
BOONE COUNTY
BELVIDERE TOWNSHIP

1	2	3	4
R6033	R6034	R6035	R6036
R6037	R6038	R6039	R6040

T44N R03E 3PM
R60343





Hampton, Lenzini and Renwick, Inc.

Civil Engineers • Structural Engineers • Land Surveyors • Environmental Specialists
www.hlrengineering.com

May 1, 2023

Mr. Brent Anderson
Director of Public Works
City of Belvidere
401 Whitney Boulevard, Suite 200
Belvidere, Illinois 61008

Re: 2023-02; Crosslink Business Park 2 Subdivision
Proposed Cold Storage Facility
City of Belvidere
Plat of Subdivision and Engineering Plan Review #2

Dear Mr. Anderson:

We reviewed the following items for the referenced project:

- Engineering Plans for Proposed Cold Storage Facility prepared by Manhard Consulting, Ltd and dated March 31, 2023
- Final Stormwater Management Report for Proposed Cold Storage Facility prepared by Manhard Consulting, Ltd and dated March 31, 2023
- Final Plat of Crosslink Business Park No. 2 Subdivision prepared by Manhard Consulting, Ltd and dated March 31, 2023

The following comments are offered for your consideration:

GENERAL COMMENTS

1. Provide a landscape plan.

ENGINEERING PLANS

EXISTING CONDITIONS AND DEMOLITION PLANS

2. On Sheet 8, the existing water main is shown to be abandoned approximately 200 feet south of the point where the 10-inch fire protection line is proposed to connect (per Sheet 82). Please clarify the reasoning for leaving a 200-foot long stub.
3. On Sheet 8, the existing 30-inch end section north of Morreim Drive and west of the proposed Crosslink Parkway intersection is noted to be removed. On Sheet 82, it appears that this end section will remain. Please clarify.
4. On Sheets 8 and 11, there is approximately 900 feet of existing sanitary sewer along Morreim Drive east of the proposed Crosslink Parkway intersection which is not shown to be abandoned. Is there a future use proposed for this sewer? If not, it may be beneficial to plug it at the Crosslink intersection to avoid issues with infiltration.

380 Shepard Drive
1401 Timber Drive, Unit 1
Elgin, Illinois 60123-7010
Tel. 847 697.6700
Fax 847 697 6753

380 N. Terra Cotta Road
Unit G
Crystal Lake, Illinois 60014
Tel. 847 697 6700
Fax 847 697 6753

3085 Stevenson Drive
Suite 201
Springfield, Illinois 62703
Tel. 217.546.3400
Fax 217 546 8116

323 West 3rd Street
P O Box 160
Mt Carmel, Illinois 62863
Tel. 618 262 8651
Fax 618 263 3327

STORMWATER POLLUTION PREVENTION PLAN

5. On Sheet 14, add a note stating that the site's erosion and sediment control must be inspected by a qualified erosion control inspector at a minimum of once every seven calendar days and after storm events of 0.5 inches or equivalent snowfall. This note should also state that inspections may be reduced to one every month if construction is not active and the ground is frozen.
6. General Note C on Sheet 14 references the California EPA. Please clarify.
7. There are multiple references to the acronyms CEC, IES, and ECT throughout the SWPPP. Please provide the full name for each of these items the first time it is mentioned.
8. On Sheet 16, the Double Row Silt Fence note is obscured by the Drainage Area note. Revise as necessary.
9. On Sheet 17, Sheet 19, Sheet 20, Sheet 21, and Sheet 22, how will the proposed pipe and flared-end section installations be protected from sedimentation during their construction?
10. On Sheet 21, silt fence is shown crossing Tributary A. Silt fence is not recommended for areas with concentrated flow such as streams. Provide additional information to show how the in-stream work will be completed and protected from erosion.
11. On Sheets 23 and 24, add notes calling out the silt fence as it can be difficult to pick out based only on the line.

GRADING PLAN

12. In the Grading Plan Legend, the symbols for contours and spot grades overlap. Revise as necessary.
13. On Sheet 64, an overflow route arrow is shown from the parking lot going northwest to the detention basin. The proposed contours do not match this flow direction and would appear to flow southwest to the stream. This parking lot area should overflow to the detention basin. Revise as necessary.
14. On Sheet 68, the spot shot on the berm south of the emergency overflow should be increased from 775.4 to 775.5 to provide 1' of freeboard above the overflow elevation.
15. On Sheet 73, what appear to be bollards are shown on the north and south sides of the two pedestrian paths going through the island north of the handicapped parking spaces. A minimum of 4 feet of clearance is required for the width of a pedestrian path. It is unclear if the spacing between the bollards meets this requirement.

UTILITY PLAN

16. For all locations where existing or proposed utility pipes cross each other, provide top and bottom of pipe elevations and separation distance.
17. Provide structural designs for the proposed box culverts.
18. Utility Note 22 states that all water main and fittings shall be wrapped. Provide additional information and specification for the material used for wrapping.
19. Provide additional information to clarify water main valve and pipe sizes at all laterals. Currently, smaller-size laterals off of main have their size noted past the lateral valve in most cases. It is unclear if the water main size reduces at the tee or past the valve. Examples include Sheets 80/87 with the 6-inch to 3-inch water main and the 10-inch lead-ins from the 12-inch fire protection main.
20. On Sheet 82, provide additional information on how the existing storm structure within the proposed Crosslink Parkway pavement will be adjusted/reconstructed. It will require additional work beyond just adjusting a frame to grade as the existing structure is built into the curb.
21. On Sheet 84, provide the pipe material, size, and slope for the weight station sanitary sewer.
22. On Sheet 88, no information is provided for the sanitary manhole which appears to be SMH-T and for the pipe to the east of the manhole.

23. Utility plan sheets, there are constructability issues with the following manholes:
- a. MH-8, MH-9, MH-29, MH-40B, MH-76, MH-78, MH-101, MH-112, MH-113, MH-114, and MH-115.
 - i. In general, constructability issues include insufficient separation between pipe openings and/or insufficient vertical height from the rim to inverts for the proposed pipes. Please review these locations, and the remainder of the system to ensure that the proposed manholes are constructable and have sufficient structural integrity.
24. Sheet 78, there are several existing callouts to structures (inverts 770.72, 770.90, and 770.93) that were labeled as TBR on the demolition plans. If the associated structures will be removed, please remove their labels from subsequent design sheets (typ).
25. Sheet 78, please indicate how the existing storm sewer will be connected (i.e. remain continuous) at the location where a storm manhole (noted above) is being removed.
26. Sheet 79, several pipes that connect to MH-29 appear to be missing callouts / pipe information. Similar comment for the pipe downstream of MH-33.
27. Sheet 80, the 12" pipe downstream of MH-5 / OCS-1 will not have sufficient capacity for the ~14 cfs from the outlet control structure.
28. Sheet 82; at the existing manhole downstream from MH-17; please remove the callout for the existing 36" CES at this location which is to be removed.
29. Sheet 84, please update the pipe information for the pipe downstream of INL-87A.
30. Sheet 86, the next manhole downstream from MH-103C is missing a callout.
31. Sheet 88, the pipes downstream of MHs -89A and -91B are missing pipe callout information. Similarly, the end section downstream from MH-89 is also missing a callout.

PLAN AND PROFILE – CROSSLINK PARKWAY

32. Provide grades for the proposed Crosslink Parkway centerline in the profile views. Some sections appear to be relatively flat.
33. On Sheet 90, there is a note to adjust an existing storm manhole rim to "XXX". Provide the correct proposed elevation.
34. The existing ground and proposed Crosslink Parkway centerline elevations are shown the same for all stations on Sheets 91 and 92. Revise as necessary.

STORMWATER MANAGEMENT REPORT

35. The report indicates that an IDNR-OWR permit is being pursued for work in the regulated channel through the project site. If possible, please include a copy of the approved permit within the final stormwater report, or provide a copy to the City, once approval is obtained.
36. Within the stormwater report, please include a copy of the subsurface drainage investigation exhibit and discuss in the narrative that no field tiles were found during the investigation.
37. It is understood that portions of the proposed development fall within the area of a previously approved stormwater management system. For the proposed areas that drain to existing detention basins, please provide documentation within this report to show that these proposed areas meet the assumed land use conditions of the original report.
38. Orifice & Weir Discharge Rate calculations; please ensure in the plans that the downstream storm sewer systems have sufficient capacity for the restricted flow from the basins.
39. Storm sewer calculations; evaluate locations where the flow velocities exceed 10 feet per second for alternatives with velocities less than 10 fps (i.e. reducing slopes or increasing pipe capacity).

Mr. Brent Anderson
City of Belvidere
May 1, 2023

Page 4

40. Storm sewer calculations; please indicate the design storm for these calculations (i.e. 10-year storm event).
41. The stormwater report indicates that portions of the storm sewer system are designed for 100-year events. Within the report, please provide an exhibit that indicates the 100-year capacity storm sewers, and provide supporting calculations.
42. Inlet capacity verification calculations; MH-16 appears to not have sufficient capacity. There is a notation for "Special Inlet". It was unclear in the plans if this location is to have a different frame & grate or what the special inlet should be. Please clarify and provide a reference.

PLAT OF SUBDIVISION

43. Surveyors' certificate language does not match what is shown on city subdivision code.
44. Provide Plat of Vacation for Crosslink Parkway and Morren Drive for review.
45. If wetland delineated lines are a restrictive line, the lines need to be dimensioned so they can be plotted by others.
46. All proposed easements need to be dimensioned with bearings and distances so they can be plotted by others. Currently most easements shown on the plat could not be plotted by others.

Indicated items should be clarified or corrected and resubmitted with a comment response letter. Additional comments may be provided based on future revisions.

Yours truly,

HAMPTON, LENZINI AND RENWICK, INC.



Alex Riegler, PE

Memo

To: Gina DelRose, Associate Planner
From: Brent Anderson, Director of Public Works
Date: 5/4/2023
Re: Review of Final Plat #2 – Crosslink

Having reviewed the above Plat, I offer the following comments:

1. All public improvements shall be completed in accordance with approved construction plans for the development. An engineer's estimate of cost for the public improvements to be completed as a part of this project shall be submitted along with the construction plans for this plat.
2. A Performance Bond or Letter-of-Credit is required for all public improvements on forms provided by the City and must be submitted prior to recording of the Final Plat or approval and release of the construction plans for the development by the Director of Public Works.
3. A construction inspection fee in the amount of three percent of the approved engineer's estimate of cost for the public improvements must be paid to the City Clerk prior to approval and release of the construction plans for the development by the Director of Public Works.
4. A drainage overlay needs to be submitted along with this plat.
5. The existing 30' wide ingress/egress easement recorded as Document No 2011R07268 shall be vacated.
6. A portion of this property is covered by water recapture Ordinance #343G. The following recapture fee shall be paid prior to recording of the final plat:
$$124.04 \text{ Acres} @ \$2,230.00/\text{Acre} = \$276,609.20$$
7. All other provisions of the subdivision control ordinance will be required unless specifically waived by the City Council.



603 N. Appleton Rd. Belvidere, IL 61008
(815)547-7935 | office@bccdil.org

Date: April 24, 2023

Review Comments: Belvidere Case 2023-12 – Crosslink Business Park 2 Subdivision
(Final Plat)

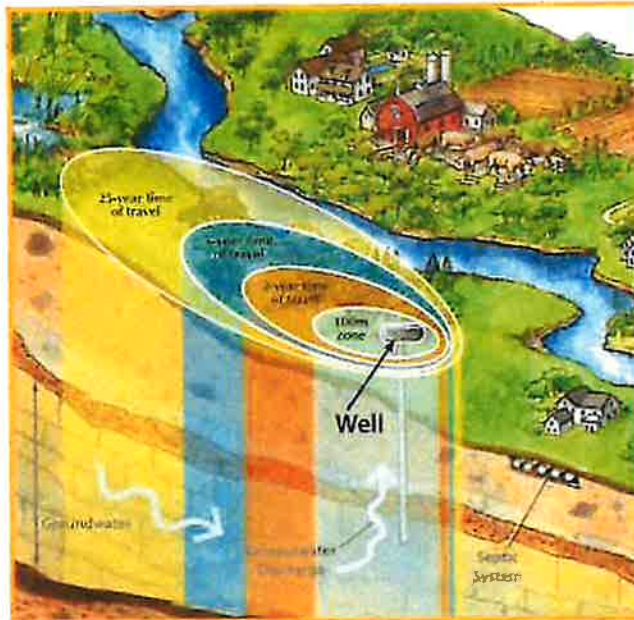


Figure 1. Multi-year capture zone depiction demonstrating groundwater recharge to a well.

The proposed final plat includes several issues of concern, but the primary concerns are focused on probable sources of pollution located hazardingly close to the City of Belvidere's municipal well number 8. This well is part of the city's water supply. The proposed plat and design of the development project show water runoff from parking areas and paved surfaces directed to flow toward well number 8 where stormwater detention basins are shown to be placed on the east and west sides of the well. Each of these detention basins are less than 100 feet from well number 8. Wells that supply drinking water are supposed to maintain wellhead protection zones to prevent contaminate from leaching into groundwater. The EPA requires a minimum 400-foot wellhead protection zone and suggests up to a 1000-foot protection zone be provided.

Runoff from paved surfaces like the areas shown in the final plat design often carries substances like oil, gas, antifreeze, road salt, and other potential contaminants. In addition, the land in this area is mapped by the Illinois State Geological Survey as being very permeable and this runoff could easily soak into the ground and be pulled into the well. Belvidere needs to protect its water supply from these kinds of pollution risks. Our water supply is critical to all users, including current and future economic development needs. Attracting and retaining new investments will be dependent on a safe, reliable, and affordable water supply. Everything needed to develop a sound water supply plan is available to decision makers.

Figure 1 shows the best method of planning to protect a well like this. The graphic shows how local rainfall enters the ground to become groundwater and how water then flows to the well over different time periods. This depiction shows what is called the "capture zone" of a well. Every well is different in that it is drilled into different geologic materials – some of which may be aquifers that water can be stored in and provide water to the well. This means every well needs to be assessed to determine its own capture zones for different lengths of time and how and where water from precipitation can

infiltrate and become part of the water supply. These are often shown as five, ten, fifteen-year times of travel and the graphic in Figure 1 gives you a picture version of this concept.

Protecting the water supply for the Belvidere community is an essential role of city government. The city can adapt "minimum" standards required by state and federal regulations, or it can be more thoughtful and develop a more thorough water protection plan to reduce the risk of impacting that water supply – both in terms of quantity and quality. The community has existing information that can help guide the development of that water supply plan – not just for well number 8, but for the entire water supply system. And, the state of Illinois, the University of Illinois Prairie Research Institute, the Boone County Conservation District, and others are currently working to create 3-dimensional geologic mapping and 3-dimensional groundwater modeling that will further aid the community in developing strategic community water supply planning and help ensure protection of this essential resource can be done. At a minimum the city needs to follow the State of Illinois Source Water Protection Plan requirements, and these indicate a minimum setback of 400 feet for this well. Here is the link to this information: <https://dataservices.epa.illinois.gov/swap/factsheet.aspx>

Below are more specific concerns and a list of references that can help the City protect its water supply:

1. Questions/concerns related to the City of Belvidere's municipal well number 8.
 - a. The stormwater management plan shows two stormwater detention basins (Basin A and Basin B) located within approximately 100 feet of the east and west sides of municipal well #8. State Law indicates that a minimum setback of 400 feet is required. However, given the local aquifer sensitivity to contaminants, consideration for a more thoughtful setback requirement is strongly encouraged.
 - b. These basins are shown to be excavated to a depth of approximately 8 feet below the current landscape position. Stormwater runoff from parking and pavement areas are routed directly to detention basins A & B.
 - c. Stormwater runoff from pavement and parking facilities is a very probable source of many contaminants such as chlorides (road salt or de-icing agents used to manage ice and snow); oil, gas, antifreeze and/or other products that leak off vehicles onto paved surfaces; and land management practices for areas where fertilizers and pesticides are used. Here is a recent resource describing these pollutants: <https://extension.psu.edu/what-are-stormwater-pollutants>.
 - d. The saturated hydraulic conductivity of this area is mapped as being between 5 – 10 centimeters per hour at this location. This represents how easy water infiltrates into the ground, becoming groundwater. (See Boone County KSAT Ratings Map – attached)
 - i. Ksat values in this range can/will facilitate significant infiltration of stormwater accumulating in detention basins A & B directly into the immediate capture zone (see figure 1 for a visual graphic of this concept) of municipal well #8. The delivery of stormwater appears to be routed from both the building structures and the parking facilities/pavement area to these detention basins.
 - ii. No best management practices (such as a non-permeable barrier to line the bottom and sideslopes of basins A & B) are included in the proposed stormwater management plan. Some method(s) designed to mitigate or reduce contamination risks from parking/pavement runoff from entering the aquifer supplying water to well #8 are needed.
2. The second series of questions/comments are related to the Stormwater Management Plan's water quality design elements.
 - a. This final plat's stormwater management plan does not incorporate best management practices (BMP's) designed to mitigate water quality issues commonly associated with stormwater runoff. There are numerous BMP elements or green infrastructure practices that could be used to address these issues. Unfortunately, the City of Belvidere's ordinances do not incorporate these modern techniques as part of its design criteria.
 - b. The Kishwaukee River is characterized as a "Unique Aquatic Resource, or Class A Stream." Only a handful of Illinois streams & rivers have this distinction. This river, located approximately 3,200 feet north of the drainage outlet from this site, is a local natural resource gem. The qualities that make this river a gem will degrade quickly if the City of Belvidere and Boone County approve new development projects that fail to consider their cumulative impact on this water resource. *Attached please find a*

copy of the 2021 Kishwaukee River Basin Survey that demonstrates the status of the Kishwaukee River and its tributaries.

- i. preserve, or enhance ecological functions and values of wetlands and their buffer areas, minimize flood potential. Effective consideration of these aspects can help maintain the high quality and character of the Kishwaukee River and the local headwater tributary that occurs at this site.
- c. The plat identifies a "drainage easement," and specifically identifies field verified wetlands on this site as mapped by Hey and Associates Inc.
 - i. Are there any measures planned to preserve and manage the wetlands other than no physical disturbance?
 - ii. Does the project's development plan include any active management of the wetlands – establish buffer areas, plantings of native vegetation, removal of invasive species, and/or other best management practices that would enhance the natural functions of these wetlands?
 - iii. How will these wetlands function with respect to being integrated into the stormwater management features?
 - iv. What is the hydrology dynamic of these wetlands – do these plant associations depend on groundwater? What/where is the source of that groundwater? Native plant communities develop under stable site conditions. This project could alter the current conditions by providing too much or too little water, as well as change the quality/character of that water and thereby inadvertently impact this ecological feature.
- d. The stormwater management plan does not describe any conservation design elements. The local code does not require the applicant to do so, but many of the concerns being detailed here could be pro-actively addressed if it did. How does the stormwater management plan address groundwater recharge/infiltration with respect to ensuring Belvidere municipal well #8 remains a viable source for the community's water supply?
 - i. Green infrastructure practices include features that could/would benefit the quality of surface water runoff, preserve, or improve groundwater water quality and groundwater recharge that is likely contributing to well #8 and the community's water supply.

Note: Please consider the additional information attached with these comments. This information provides context to these comments and suggestions.

- Attached is a graphic depicting well head protection areas (WHPA) shown as figure 1.
- Boone County KSAT Ratings Map
- A well head protection area fact sheet.
- 2021 Kishwaukee River Basin Survey
- Link to Regional Greenways Plan – Recommend Review of Green Infrastructure Information. <https://drive.google.com/file/d/1U-eT1RqGWa9yjN-jw0Ydgoi165qa1j3V/view>
- <https://www.usgs.gov/publications/green-infrastructure-great-lakes-assessment-performance-barriers-and-unintended>. Green Infrastructure in the Great Lakes – Assessment of Performance, Barriers, and Unintended Consequences. U.S. Geological Survey Circular 1496. (Unintended Consequences – starting on page 52).
- <https://dataservices.epa.illinois.gov/swap/factsheet.aspx> – see the information below.

Importance Of Source Water:

The City of Belvidere (Facility Number 0070050) obtains its water from eight active community water supply wells. Wells #3, #4,

#5, #6, #7, #8, and #9 (Illinois EPA #11301, 11302, 11303, 11304, 11305, 11306, and 11307, respectively) supply an average of 3,660,000 gallons per day (gpd) to 6,615 direct services and 3 satellite services or a population of 23,500. In addition, Belvidere provides source water to Four Seasons 2000 Addition.

Well Data For This Facility:

Well ID	Well Description	Status	Depth	Minimum Setback	Pumpage	Aquifer Code	Aquifer Description
WL02010	WELL 10 (02010)	A	1522.00	400			
WL02211	WELL 11 (02211) PROPOSED	P	1500.00				
WL11300	WELL 2 (11300) ABANDONED	I	1861.00	400	27674000	6080	Deep Bedrock
WL11301	WELL 3 (11301)	A	1800.00	400	6039000	6397	Deep Bedrock
WL11302	WELL 4 (11302)	A	1777.00	400	133979000	6397	Deep Bedrock
WL11303	WELL 5 (11303)	A	604.00	400	133095000	6393	Deep Bedrock
WL11304	WELL 6 (11304) ABANDONED/SEALED	I	852.00	0	155247000	6393	Deep Bedrock
WL11305	WELL 7 (11305)	A	961.00	400	203689000	6080	Deep Bedrock
WL11306	WELL 8 (11306)	A	1376.00	400	293383000	6080	Deep Bedrock
WL11307	WELL 9 (11307)	A	120.00	400	224670000	0101	Sand & Gravel

Susceptibility To Contamination:

To determine Belvidere's susceptibility to groundwater contamination, the following document was reviewed: a Well Site Survey, published in 1989 by the Illinois EPA. Based on the information obtained in this document, there are 77 potential sources of groundwater contamination that could pose a hazard to groundwater utilized by Belvidere's community water supply. These include multiple vehicle and engine repair and sales facilities, dry cleaners and hazardous waste storage facilities, electrical and municipal buildings, salvage/construction and demolition company's, above and below ground fuel storage tanks, along with other various potential sources of contamination. In addition, information provided by the Leaking Underground Storage Tank and Remedial Project Management Sections of the Illinois EPA indicated sites with on-going remediation that might be of concern. Based upon this information, the Illinois EPA has determined that the Belvidere Community Water Supply's source water is susceptible to contamination. This determination was based on a number of criteria including: monitoring conducted at the wells; monitoring conducted at the entry point to the distribution system; and the available hydrogeologic data on the wells. As such, the United States Geological Survey (USGS), Illinois District, in co-operation with the Illinois EPA has provided 5-year recharge area delineations for wells #2, #3, #4, #5, #6, #7, and #9. Due to lack of sufficient data, the recharge area for well #8 has not been calculated at this time. The land use within the recharge areas of the wells was analyzed as part of this susceptibility determination. This land use includes residential, commercial and agricultural properties. In 2011, the City of Belvidere received a Non-Compliance Advisory (NCA) for bacteriological detections in well #6. The facility conducted an investigation on well #6, based on the findings, the well was shock chlorinated. At this time, the NCA for well #6 has now been resolved, it should be noted however, monitoring data is continually being tracked in regards to all active potable wells in the City of Belvidere. Further detailed information regarding the susceptibility of Belvidere wells to contamination may be obtained from the following sources: Mills P.C., Halford K.J., and Cobb R.P. (2002). Delineation of the Troy Bedrock Valley and Particle- Tracking Analysis of Ground-Water Flow Underlying Belvidere, Illinois. Water-Resources Investigations Report 02-4062. Denver, CO: U.S. Geological Survey. Mills P.C., Nazimek J.E., Halford K.J., and Yeskis D.J. (2002). Hydrogeology and Simulation of Ground-Water Flow in the Aquifers Underlying Belvidere, Illinois. Water-Resources Investigations Report 01-4100. Denver, Co: U.S. Geological Survey. Mills P.C., Yeskis D.J., and Straub T.D. (1998). Geologic, Hydrologic, and Water-Quality Data from Selected Boreholes and Wells In and Near Belvidere, Illinois, 1989-96. Open-File Report 97-242. Denver, CO: U.S. Geological Survey. Brown T.A., and Mills P.C. (1995). Well-Construction, Hydrogeologic, and Ground-Water-Quality Data in the Vicinity of Belvidere, Boone County, Illinois. Open-File report 94-515. Denver, CO: U.S. Geological Survey.

Source Water Protection Efforts:

The Illinois Environmental Protection Act provides minimum protection zones of 400 feet for Belvidere's

wells. These minimum protection zones are regulated by the Illinois EPA. To further reduce the risk to the source water, a "maximum setback zone ordinance" may be established, which is authorized by the Illinois Environmental Protection Act and allows county and municipal officials the opportunity to provide additional potential source prohibitions up to 1,000 feet from their wells. To further minimize the risk to the city's groundwater supply, the Illinois EPA recommends the following additional activities be considered. First, the water supply staff may wish to revisit their contingency planning. Contingency planning documents are a primary means to ensure that, through emergency preparedness, a community will minimize their risk of being without safe or adequate water. Second, the water supply staff is encouraged to review their cross connection control ordinance to ensure that it remains current and viable. The city's requirement for the use of backflow preventors on new construction and use of reduced pressure zone protection at the city's bulk loading station are good examples of protecting the distribution system from cross connections. Third, raw water samples from well #6 have tested positive for total coliform bacteria in the past. Continued diligence in well maintenance, sampling procedure, and maintaining a clean sampling environment will aid in eliminating future coliform detects. Finally, the Illinois EPA recommends that the city investigate additional source water protection management options to address the land use activities within the wells' recharge area. Specifically, these management options should address potential impacts from potential point sources and non-point sources related to agricultural land uses. In addition, Belvidere may wish to implement a wellhead protection program, which includes the proper abandonment of potential routes of groundwater contamination within the recharge areas, of the community's wells. Development of appropriate management programs for identified potential sources of contamination and correction of any sanitary defects that might be present at the water treatment facility. This effort may result in the community water supply receiving a special exception permit from the Illinois EPA, which allows a reduction in monitoring and laboratory analysis costs.



WELLHEAD PROTECTION AREAS

What is a Wellhead Protection Area?

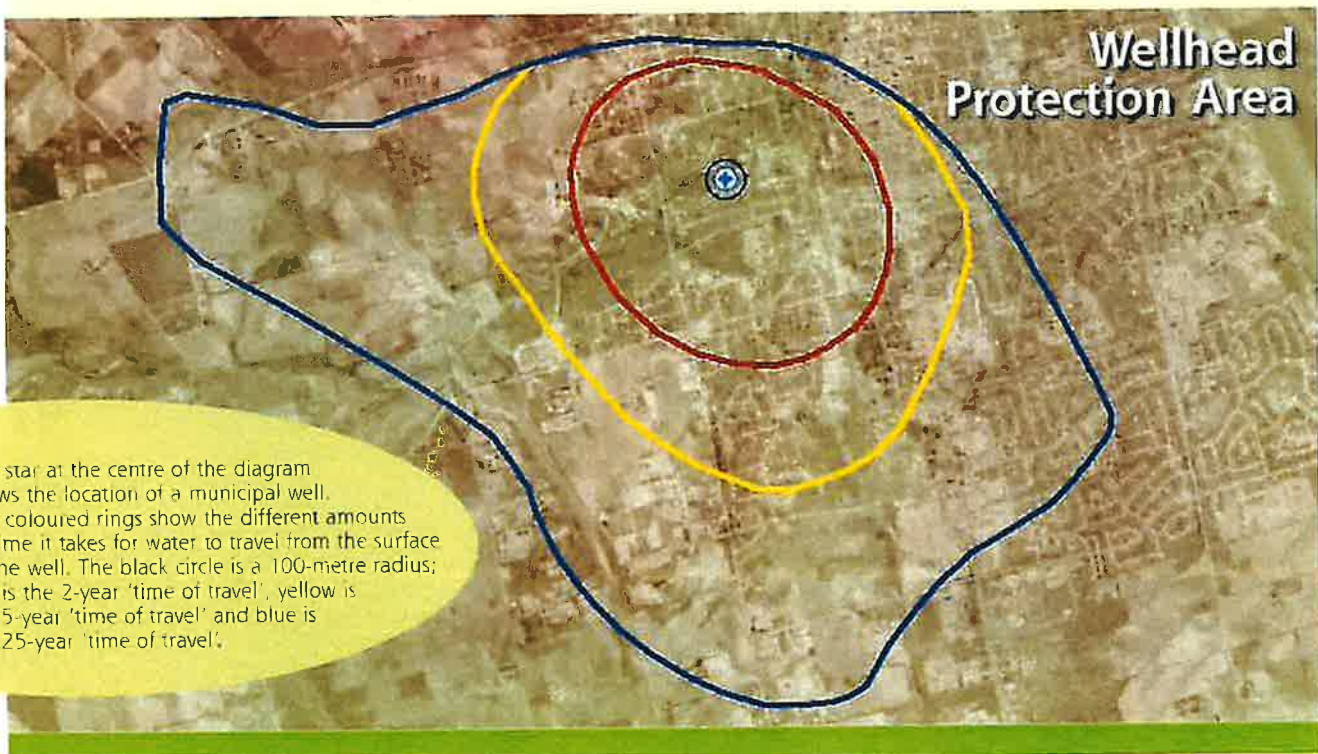
Many municipalities rely on wells to supply drinking water to its residents. Wells of all types, municipal and private, urban and rural, pump water from under the ground. This *groundwater* comes from rain or snow that seeps below ground and pools in cracks or spaces in the soil, sand and rock. These underground sources of water are sometimes known as aquifers. The level of *groundwater*, or the water table, rises and falls depending on the season, temperature, amount of rain or snow and the amount of water withdrawn from the aquifer.



More than 20% of Ontarians use groundwater to meet their *daily* water needs.

A wellhead is simply the physical structure of the well above ground. A wellhead protection area is the area around the wellhead where land use activities have the potential to affect the quality of water that flows into the well.

The amount of land involved in a *wellhead protection area* is determined by a variety of factors such as the way the land rises or falls, the amount of **water being pumped**, the **type of aquifer**, the **type of soil** surrounding the well, and the **direction and speed that groundwater travels**. All of these factors help to determine how long it takes water to move **underground to the well itself** and how much land around the wellhead should be protected.



The star at the centre of the diagram shows the location of a municipal well. The coloured rings show the different amounts of time it takes for water to travel from the surface to the well. The black circle is a 100-metre radius; red is the 2-year 'time of travel', yellow is the 5-year 'time of travel' and blue is the 25-year 'time of travel'.

WELLHEAD PROTECTION AREAS



Why do Wellheads Need Protection?

Pollutants can sometimes seep into the ground and contaminate the water in a well. *Wellhead protection* is a good way to prevent municipal drinking water from becoming polluted because it requires landowners to manage activities that could become potential sources of contamination in the area supplying water to a public well.

Much can be done to prevent groundwater contamination. Under the Clean Water Act, 2006, local Source Protection Committees

will develop plans for protecting municipal well water. They will look at potential sources of *groundwater* contamination in their area, rank them based on their potential to contaminate groundwater, and then determine the best method of managing existing and future land and water uses that pose a significant risk to drinking water. Protecting the area around a well, helps protect a healthy supply of water now and in the future.

What are Potential Sources of Contamination in Wellhead Protection Areas?

Pollutants from a variety of activities on the land can seep into the ground and move toward a well. Examples of activities that could negatively affect groundwater if not managed properly include:

- Chemical storage
- Spreading of sewage treatment sludge
- Storage and spreading of road salt
- Animal feedlots
- Use and spilling of fertilizers and pesticides
- Accidental spills of hazardous materials
- Septic systems
- Underground storage tanks
- Underground pipelines or sewers
- Landfills
- Private and abandoned wells

What are the Benefits of Protecting Wellhead Areas?

A very clear benefit of drinking water source protection in *wellhead protection areas* is protecting public health. In addition, preventing drinking water contamination in the first place costs a lot less than cleaning it up after it has been contaminated. There are a number of ways *wellhead protection* impacts our day-to-day lives and reduces the costs to maintain good water supplies:



- Not having to drill new wells when old ones become contaminated
- Avoiding the need to clean up contaminated groundwater
- Reducing the cost of water treatment
- Ensuring a long-term supply of clean water
- Ensuring a positive climate for economic growth

WELLHEAD PROTECTION AREAS

What can

You do to Protect Local Wellhead Areas ?

To find out if you live near a *wellhead protection area*, contact your local conservation authority. You can find out which conservation authority you live in at www.conservationontario.ca

Even if you don't live in or near a *wellhead protection area* it is important to take steps to protect groundwater. Everything is connected through the water cycle and it is important to remember everyone lives downstream. What you do today can affect local water quality. These are some of the things you can do to protect your groundwater from contamination:

1

Conserve water. Not only is conserving water helpful to maintaining a constant supply of drinking water, too little water in a source can mean contaminants are more concentrated and, therefore, may be above acceptable levels.

2

Be an avid recycler. Recycling paper products, glass, metals and plastics cuts down on pollution and also reduces the amount of water we use. Manufacturing recycled paper uses 58% less water than making paper from virgin wood pulp. Making glass from recycled materials cuts related air pollution 20% and water pollution 50%.

3

Dispose of hazardous waste properly. Take unused paints, cleaners, pesticides, and medical prescriptions to your local hazardous waste facility. Take used engine oil to recycling facilities. Use drop cloths or tarps when working with hazardous materials such as paints, driveway sealers or wood stain to prevent spills from leaking into the ground. If a spill occurs, clean it up with an absorbent material such as kitty litter or sawdust and scoop the contaminant into a container.

4

Use non-toxic products for cleaning and environmentally-friendly soaps, shampoos and personal care products. Remember that what you use in your house goes back down your drain.

5

Clean up pet waste which contains nutrients and pathogens that can run into storm sewers during a rain storm.

6

Prevent pollutants from entering into runoff by reducing or eliminating the use of pesticides, fertilizers, sidewalk salts and by not over-watering your lawn. If you run an agricultural operation and haven't already, consider developing and implementing a Nutrient Management Plan.

7

Take care when refueling gas tanks for cars, lawn mowers, chainsaws, weed trimmers, tractors or other machinery to avoid spilling fuel on the ground. Also take care when changing engine oil. One litre of gas or oil can contaminate a million litres of groundwater.

8

Take your car to commercial car washes designed to prevent pollutant runoff from entering storm sewers. Use commercial car washes that use water efficient sprays, reducing their water consumption.

9

Stay informed and get involved in your local source protection process. To find a Drinking Water Source Protection Planning Region or Area near you go to www.conservationontario.ca



WELLHEAD PROTECTION AREAS

Some additional ways to protect water for those who live on rural properties include:

1 Keep your septic system in proper working order and empty the tank regularly.

2 Protect and maintain your private well. Wells provide pathways for contaminants to enter the groundwater. If you have a well, be sure it is sealed properly and if you own a well you no longer use, have it properly decommissioned by a licensed well technician. Test your well water regularly to ensure the water is safe to drink.

3 Manage animal waste on farms to prevent water contamination. If you operate a farm, contact your local Ontario Soil and Crop Improvement Association (OSCIA) at www.ontariosoilcrop.org or your local conservation authority at www.conservationontario.ca for information about workshops you can take to assist you in developing an Environmental Farm Plan (EFP) for your farm business.

4 Manage livestock grazing. Overgrazing exposes soil and increases erosion.

5 Protect the vegetation along the banks of ponds, streams and lakes to help control erosion, provide food for aquatic life, and maintain cooler water temperatures necessary for some species of fish.

For More Information on Wellhead Protection Areas

Please contact your local Source Protection Region or Area:



**Conservation
ONTARIO**
Natural Champions

120 Bayview Parkway, Box 11,
Newmarket, ON L3Y 4W3
Tel.: 905.895.0716
Fax: 905.895.0751
info@conservationontario.ca



www.conservationontario.ca

For more information on the Source Protection Program, please visit the Ministry of the Environment's website:
www.ontario.ca/cleanwater

This project has received funding support from the Ontario Ministry of the Environment. Such support does not indicate endorsement by the Ministry of the contents of the material.

Gina Delrose

From: Dan Kane <dkane@bccdil.org>
Sent: Thursday, April 27, 2023 9:10 AM
To: Gina Delrose; Brent Anderson
Cc: Duffy, Teagan - FPAC-NRCS, Belvidere, IL
Subject: Belvidere Case 2023-12; Crosslink Business Park 2 Subdivision (Final Plat)
Attachments: Belvidere Case 2023-12 Final Plat1.pdf; Belvidere Well No. 8.pdf; COFactSheet-WhatisaWHPA.pdf; Ksat Rating Boone County.pdf

This message originated from an **External Source**. DO NOT click links or open attachments unless you recognize the sender and know the content is safe.

Gina and Brent,

Attached are my comments and supporting documents. Some of the supporting information is accessible via the included links.

Please let me know if you have any questions.

Thank you,

Dan

Daniel J. Kane, PG
Executive Director
Boone County Conservation District
603 North Appleton Road
Belvidere, Illinois 61008

(815) 547-7935 work phone
dkane@bccdil.org

EXISTING
DETENTION B

PROPOSED TRIB. TO EXISTING
DETENTION B
AREA=29.93 AC.
CN=88
TC=15 MIN

PROPOSED PDC
±1,243,014 S.F.

FF=783.00

PROPOSED SOUTH COMBINED
DETENTION BASINS A AND B TRIB
AREA=60.04 AC.
CN=83
TC=15 MIN

Q_{2A} = 2.73 CFS
Q_{1000A} = 10.42 CFS
VOL. REQ. = 25.18 AC-FT
VOL. PROVIDED = 28.82 AC-FT

PROPOSED SOUTH DETENTION BASIN B

HWL = 774.50
BOTTOM = 770.50
STORAGE = 770.50

PROPOSED SOUTH DETENTION BASIN A

HWL = 774.50
BOTTOM = 769.50
STORAGE = 770.50

OFFSITE RUN-ON - BYPASS THROUGH PERIMETER SWALE

ON=72
TC=36.48

OFFSITE RUN-ON FROM
EXISTING 60" CULVERT
- BYPASS THROUGH
PERIMETER SWALE

Baldwin Municipal Well #8



Created by the Boone County Department of Planning, 2018

DRAFT 1

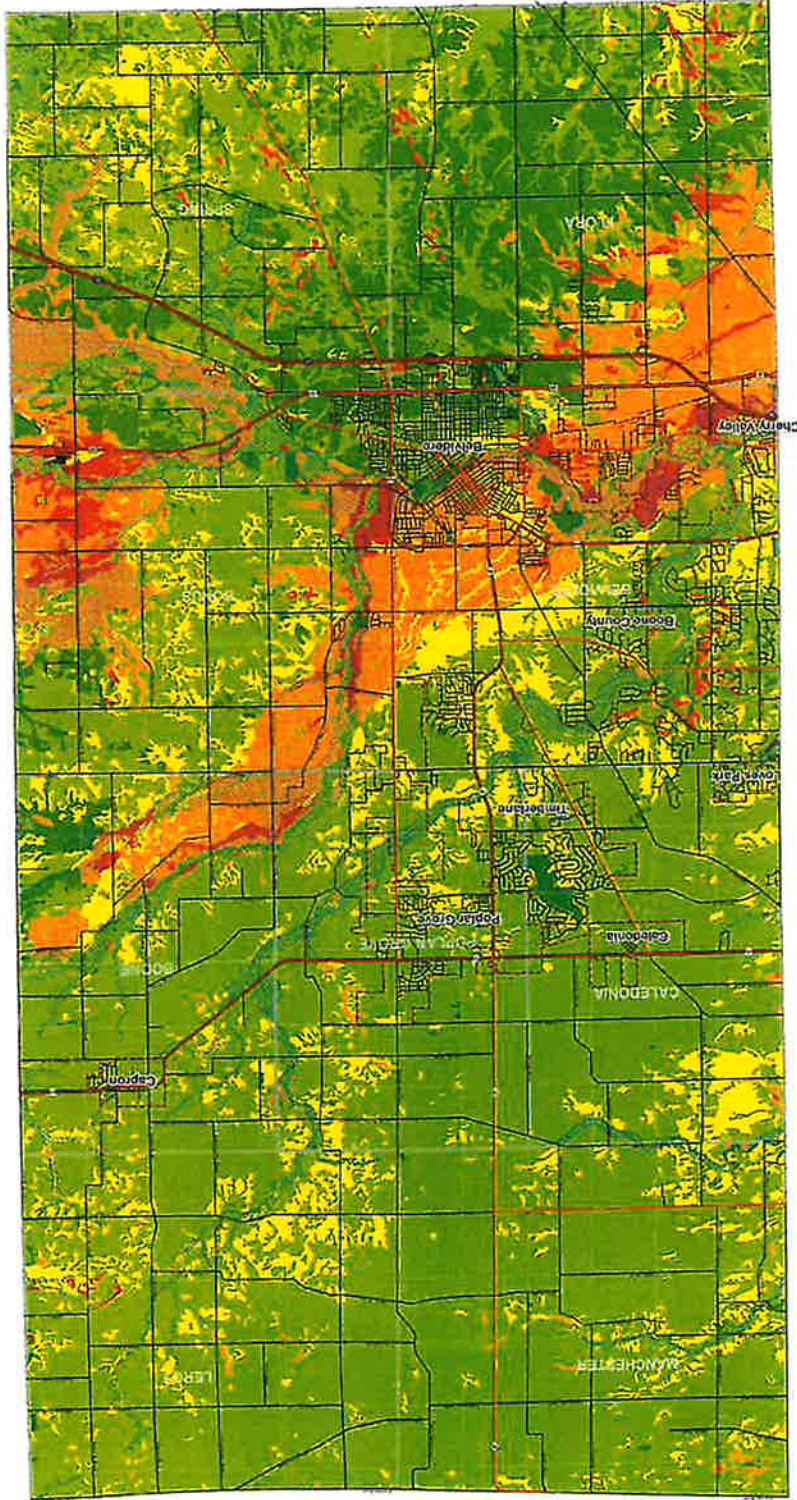
Saturated hydraulic conductivity (Ksat) refers to the ease with which pores in a saturated soil transmit water. The estimates are expressed in terms of micrometers per second. They are based on soil characteristics observed in the field, particularly structure, porosity, and texture. Saturated hydraulic conductivity is considered in the design of soil drainage systems and septic tank absorption fields. For this map the Ksat is converted from micrometers per second to centimeters per hour for simplification. At "High Recharge Areas" in the map represent a soil with a Ksat rating 5 centimeters per hour or higher.

Data Sources

Web Soil Survey - Ksat



Boone County KSAT Ratings



CROSSLINK BUSINESS PARK NO. 2 SUBDIVISION

FINAL PLAT OF

CROSSLINK BUSINESS PARK NO. 2 SUBDIVISION

CITY OF BELLEVUE, ILLINOIS

CROSSLINK BUSINESS PARK NO. 2 SUBDIVISION

FINAL PLAT OF SUBDIVISION

MANHARD CONSULTING

1 of 3

SHEET

DATE

BY

FOR

PROJECT

SCALE

GRAPHIC SCALE

PROPERTY AREA TABLE

SURVEYOR'S NOTES

ABBREVIATIONS

SUBMITTED BY/RETURN TO:

PIN'S

SHEET INDEX

BASIS OF BEARINGS

LOCATION MAP

OWNER & APPLICANT

RESUBDIVISION

REBARRIAGED

LABORER/DEVELOPER

PROW REBAR/CONCRETE

OUTLET A

OUTLET B

LOT 1

LOT 2

LOT 3

LOT 4

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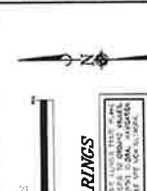
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FINAL PLAT OF CROSSLINK BUSINESS PARK NO. 2 SUBDIVISION

SECTION 31, TOWNSHIP 44 NORTH, RANGE 3, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOVY COUNTY, IOWA



LINE AND CURVE TABLE

LINE NO.	BEARING	DISTANCE	CURVE DATA
1	N 0° 00' 00" E	100.00	
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145	N 0° 00' 00" W	100.00	
146	N 45° 00' 00" E	100.00	
147	S 45° 00' 00" E	100.00	
148	S 0° 00' 00" E	100.00	
149	S 45° 00' 00" W	100.00	
150	N 45° 00' 00" W	100.00	
151	N 0° 00' 00" W	100.00	
152	N 45° 00' 00" E	100.00	
153	S 45° 00' 00" E	100.00	
154	S 0° 00' 00" E	100.00	
155	S 45° 00' 00" W	100.00	
156	N 45° 00' 00" W	100.00	
157	N 0° 00' 00" W	100.00	
158	N 45° 00' 00" E	100.00	
159	S 45° 00' 00" E	100.00	
160	S 0° 00' 00" E	100.00	
161	S 45° 00' 00" W	100.00	
162	N 45° 00' 00" W	100.00	
163	N 0° 00' 00" W	100.00	
164	N 45° 00' 00" E	100.00	
165	S 45° 00' 00" E	100.00	
166	S 0° 00' 00" E	100.00	
167	S 45° 00' 00" W	100.00	
168	N 45° 00' 00" W	100.00	
169	N 0° 00' 00" W	100.00	
170	N 45° 00' 00" E	100.00	
171	S 45° 00' 00" E	100.00	
172	S 0° 00' 00" E	100.00	
173	S 45° 00' 00" W	100.00	
174	N 45° 00' 00" W	100.00	
175	N 0° 00' 00" W	100.00	
176	N 45° 00' 00" E	100.00	
177	S 45° 00' 00" E	100.00	
178	S 0° 00' 00" E	100.00	
179	S 45° 00' 00" W	100.00	
180	N 45° 00' 00" W	100.00	
181	N 0° 00' 00" W	100.00	
182	N 45° 00' 00" E	100.00	
183	S 45° 00' 00" E	100.00	
184	S 0° 00' 00" E	100.00	
185	S 45° 00' 00" W	100.00	
186	N 45° 00' 00" W	100.00	
187	N 0° 00' 00" W	100.00	
188	N 45° 00' 00" E	100.00	
189	S 45° 00' 00" E	100.00	
190	S 0° 00' 00" E	100.00	
191	S 45° 00' 00" W	100.00	
192	N 45° 00' 00" W	100.00	
193	N 0° 00' 00" W	100.00	
194	N 45° 00' 00" E	100.00	
195	S 45° 00' 00" E	100.00	
196	S 0° 00' 00" E	100.00	
197	S 45° 00' 00" W	100.00	
198	N 45° 00' 00" W	100.00	
199	N 0° 00' 00" W	100.00	
200	N 45° 00' 00" E	100.00	

PROPERTY AREA TABLE

PARCEL NAME	SQUARE FEET	ACRES
PARCEL 1	24,432.00	0.555
PARCEL 2	18,324.00	0.419
PARCEL 3	27,228.00	0.622
PARCEL 4	12,144.00	0.278
PARCEL 5	12,144.00	0.278
PARCEL 6	12,144.00	0.278
PARCEL 7	12,144.00	0.278
PARCEL 8	12,144.00	0.278
PARCEL 9	12,144.00	0.278
PARCEL 10	12,144.00	0.278
PARCEL 11	12,144.00	0.278
PARCEL 12	12,144.00	0.278
PARCEL 13	12,144.00	0.278
PARCEL 14	12,144.00	0.278
PARCEL 15	12,144.00	0.278
PARCEL 16	12,144.00	0.278
PARCEL 17	12,144.00	0.278
PARCEL 18	12,144.00	0.278
PARCEL 19	12,144.00	0.278
PARCEL 20	12,144.00	0.278
PARCEL 21	12,144.00	0.278
PARCEL 22	12,144.00	0.278
PARCEL 23	12,144.00	0.278
PARCEL 24	12,144.00	0.278
PARCEL 25	12,144.00	0.278
PARCEL 26	12,144.00	0.278
PARCEL 27	12,144.00	0.278
PARCEL 28	12,144.00	0.278
PARCEL 29	12,144.00	0.278
PARCEL 30	12,144.00	0.278
PARCEL 31	12,144.00	0.278
PARCEL 32	12,144.00	0.278
PARCEL 33	12,144.00	0.278
PARCEL 34	12,144.00	0.278
PARCEL 35	12,144.00	0.278
PARCEL 36	12,144.00	0.278
PARCEL 37	12,144.00	0.278
PARCEL 38	12,144.00	0.278

ORDINANCE NO. 628H

**AN ORDINANCE GRANTING A SPECIAL USE
TO ALLOW INDOOR COMMERCIAL ENTERTAINMENT
WITHIN THE PB, PLANNED BUSINESS DISTRICT
(1868 Crystal Parkway)**

WHEREAS, The City of Belvidere has adopted Chapter 150, Zoning Ordinance in accordance with the provisions of Illinois Compiled Statutes to regulate the use of land and to specify the minimum requirements for improvements on land in the City of Belvidere; and

WHEREAS, Special Uses are certain municipal or private uses that due to their physical or operational characteristics may pose a threat to the value, use and enjoyment of adjoining property; are reviewed on a case by case basis; and are permitted only by permission of the Belvidere City Council; and,

WHEREAS, The applicant, May's Belvidere LLC, 100 W. Higgins Road #H71, South Barrington, IL 60010 on behalf of the property, Belvidere Retail, LLC, 5277 Trillium Boulevard, Hoffman Estates, IL 60192 is requesting a special use to permit indoor commercial entertainment which includes a bar and video gaming; and.

WHEREAS, after due notice by publication pursuant to the Illinois State Statutes, the City of Belvidere Planning and Zoning Commission held a public hearing on May 9, 2023 concerning the proposed Special Use; and,

WHEREAS, the City of Belvidere Planning and Zoning Commission having examined the application and having considered the evidence, both oral and documentary and being fully advised about the premises did make findings of fact and a recommendation; and,

WHEREAS, the corporate authorities of the City considered the findings of fact and concur with the recommendation of the Planning and Zoning Commission,

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELVIDERE, BOONE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. The foregoing recitals are incorporated herein by this reference.

Section 2. That a Special Use in the PB, Planned Business District for indoor commercial entertainment on the property depicted in Attachment A and legally described as:

Lot 3 as designated upon Final Plat 2 of Belvidere Retail Subdivision, being a part of the Northeast Quarter (1/4) of Section 1, Township 43 North, Range 3 East of the Third Principal Meridian and part of the Northwest Quarter (1/4) of Section 6, Township 43, Range 4 East of the

Third Principal Meridian, according to the Plat thereof recorded March 6, 2023 in Plat Index File Envelope No. 403-A as Document No. 2023R00824 in the Recorder's Office of Boone County, Illinois; situated in the County of Boone and State of Illinois. PIN: 08-06-152-004

Is hereby approved, subject to the following conditions:

1. The special use is only for the tenant space commonly known as 1868 Crystal Parkway.
2. Open alcohol is prohibited outside the premises unless otherwise permitted.

Section 3. That the premises shall be used in accordance with and subject to the applicable provisions of the Zoning Ordinance of the City of Belvidere and shall not be used except as may otherwise be expressly authorized by the applicable law and the special use.

Section 4. That acceptance of any of the benefits of this Special Use shall be deemed acceptance of all the terms and conditions set forth herein.

Section 5. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

Section 6. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

Section 7. This ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

PASSED by the City Council of the City of Belvidere this ____ day of _____, 2023.

APPROVED by the Mayor of the City of Belvidere this ____ day of _____, 2023.

Clinton Morris, Mayor

ATTEST:

Sarah Turnipseed, City Clerk

Ayes: ____ Nays: ____ Absent: ____

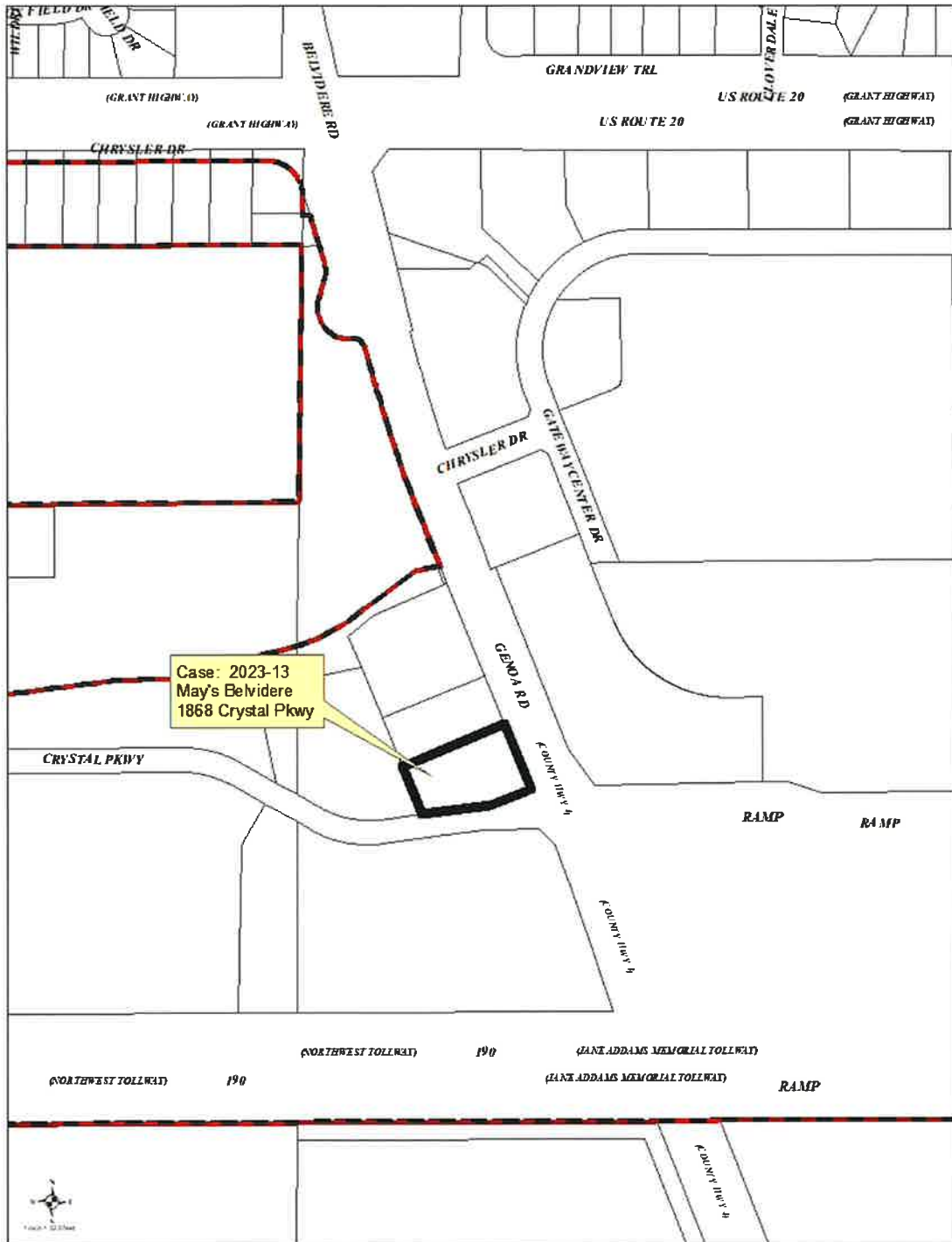
City Council Members Voting Aye: __

City Council Members Voting Nay: __

Date Published:

Sponsor: _____

ATTACHMENT A



CITY OF BELVIDERE

Community Development



BUILDING DEPARTMENT

PLANNING DEPARTMENT

401 WHITNEY BLVD. SUITE 300 BELVIDERE, IL 61008 * PH (815)547-7177 FAX (815)547-0789

May 2, 2023

ADVISORY REPORT

CASE NO: 2023-13

APPLICANT: May's Belvidere, LLC, 1868 Crystal Parkway

REQUEST AND LOCATION:

The applicant, May's Belvidere LLC, 100 W. Higgins Road #H71, South Barrington, IL 60010 on behalf of the property, Belvidere Retail, LLC, 5277 Trillium Boulevard, Hoffman Estates, IL 60192 is requesting a special use to permit indoor commercial entertainment which includes a bar and video gaming at 1868 Crystal Parkway, Belvidere, IL 61008 (Belvidere Zoning Ordinance Sections 150.105(C)(4)(B)(2) Indoor Commercial Entertainment and 150.904 Special Use Review and Approval Procedures) in the PB, Planned Business District on approximately 1.5 acres. PIN: 08-06-152-004. The property is being developed with a 6,000 square-foot multi-tenant building and parking area.

EXISTING LAND USE ON SUBJECT PROPERTY AND ADJACENT PROPERTY:

Subject property: Vacant

Adjacent property:

North, South, West: Vacant

East: Stormwater Detention Outlot

CURRENT ZONING ON SUBJECT PROPERTY AND ADJACENT PROPERTY:

Subject property: PB, Planned Business District

All Adjacent property: PB, Planned Business District

COMPREHENSIVE PLAN ON SUBJECT PROPERTY AND ADJACENT PROPERTY:

Subject property: PB, Planned Business

All Adjacent property: PB, Planned Business

BACKGROUND:

The property owner petitioned for annexation into the City of Belvidere in addition to two map amendments, a special use for a planned development on Lot 2 and the preliminary and final plats for the 7 lot, approximately 43-acre Belvidere Retail Subdivision. All seven requests were approved by the Belvidere City Council in September of 2022.

In February of 2023, the property owner was granted a special use for a planned development and a subdivision replat on the subject property. The planned development was to allow for a dispensary that is currently under construction.

2023-13; May's Belvidere LLC, 1868 Crystal Parkway

The applicant is requesting a special use to operate an approximately 1,500 square-foot bar with video gaming in the tenant space north of the dispensary. The dispensary and bar will remain inaccessible to each other.

The annexation agreement for the development allows for the bar with video gaming.

TREND OF DEVELOPMENT:

The property is located at the southern edge of the City, between Sager Corporate Park and Gateway Center Subdivision in the newly platted Belvidere Retail Subdivision. There is a large passenger vehicle and semi-truck fueling station being constructed to the south, a dispensary on the subject property and several developments have recently broken ground within the Gateway Center Subdivision.

COMPREHENSIVE PLAN:

The subject property is designated as "Planned Business" by the City of Belvidere Comprehensive Plan, adopted July 15, 1999. The Planned Business map category encourages high quality indoor commercial, office and institutional land uses, with generous landscaping and limited signage.

FINDINGS OF FACT:

Per Section 150.904 (G) of the City of Belvidere Zoning Ordinance, the criteria for granting a Special Use Permit are as follows:

- A. Findings: The establishment, maintenance, or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

The requested special use is for indoor commercial entertainment which includes a variety of land uses such as alcohol consumption and video gaming. This is the second gaming operation requested within the Belvidere Retail Subdivision. The property is located in the Planned Business District where businesses that serve alcohol and have video gaming machines have developed. The location is within a multi-tenant commercial building that has a parking lot large enough to accommodate a variety of land uses.

- B. Findings: The proposed special use, both its general use independent of its location and in its specific location, will be in harmony with the purposes, goals, objectives, policies, and standards of the City of Belvidere Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to Notice of Public Hearing by the City.**

The Comprehensive Plan shows the property and all adjacent properties as planned business. Food establishments, bars/taverns and arcades are considered appropriate uses in the planned business category. The planned business district encourages high quality indoor commercial, office and institutional land uses, with generous landscaping and limited signage.

- C. Findings: The special use will not in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters**

2023-13; May's Belvidere LLC, 1868 Crystal Parkway

affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to Notice of Public Hearing by the City or governmental agency having jurisdiction to guide development.

The planning staff is not aware of any negative issues that similar developments have caused to surrounding properties. The special use will be in compliance with the Comprehensive Plan; the site will be required to be in conformance with the requirements of the City of Belvidere's Zoning Ordinance.

Access to the property is from Genoa Road and Crystal Parkway. The cross-access easements were reviewed as part of the planned development special use. The subdivision is isolated for the time being, limiting the impact businesses can have on each other.

- D. **Findings: The establishment of the special use will not impede the normal and orderly development and improvement of surrounding property, and maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.**

The establishment will add to the businesses that travelers along I-90 can patronize. There is adequate parking and vehicle access to the property. The planning staff does not anticipate that this special use will deter development when similar businesses have not previously affected the subdivisions they are located in.

- E. **Findings: The proposed special use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvement facilities, utilities or services provided by public agencies servicing the subject property.**

The subject property is being developed with a multi-tenant building and is served with municipal utilities.

- F. **Findings: The potential public benefit of the proposed special use outweighs any and all potential adverse impacts of the proposed special use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.**

The nearest non-residential land uses are at a distance that provides an adequate buffer to a business that has later hours and entertainment factors. Although indoor commercial entertainment was a classification created by the adoption of the City's 2006 Zoning Ordinance, in 2013 the City ruled that the video gaming machines could also locate within the Planned Business District with a special use.

SUMMARY OF FINDINGS:

The requested special use is for indoor commercial entertainment which includes a variety of land uses such as alcohol consumption and video gaming. This is the second gaming operation requested within the Belvidere Retail Subdivision. The property is located in the Planned Business District where businesses that serve alcohol and have video gaming machines have

2023-13; May's Belvidere LLC, 1868 Crystal Parkway

developed. The location is within a multi-tenant commercial building that has a parking lot large enough to accommodate a variety of land uses.

The planning staff is not aware of any negative issues that similar developments have caused to surrounding properties. The special use will be in compliance with the Comprehensive Plan; the site will be required to be in conformance with the requirements of the City of Belvidere's Zoning Ordinance.

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The nearest non-residential land uses are at a distance that provides an adequate buffer to a business that has later hours and entertainment factors. Although indoor commercial entertainment was a classification created by the adoption of the City's 2006 Zoning Ordinance, in 2013 the City ruled that the video gaming machines could also locate within the Planned Business District with a special use.

RECOMMENDATION:

The planning staff recommends the **approval** of case number **2023-13** for a special use at 1868 Crystal Parkway subject to the following conditions:

1. The special use is only for the tenant space commonly known as 1868 Crystal Parkway.
2. Open alcohol is prohibited outside the premises unless otherwise permitted.

Submitted by:

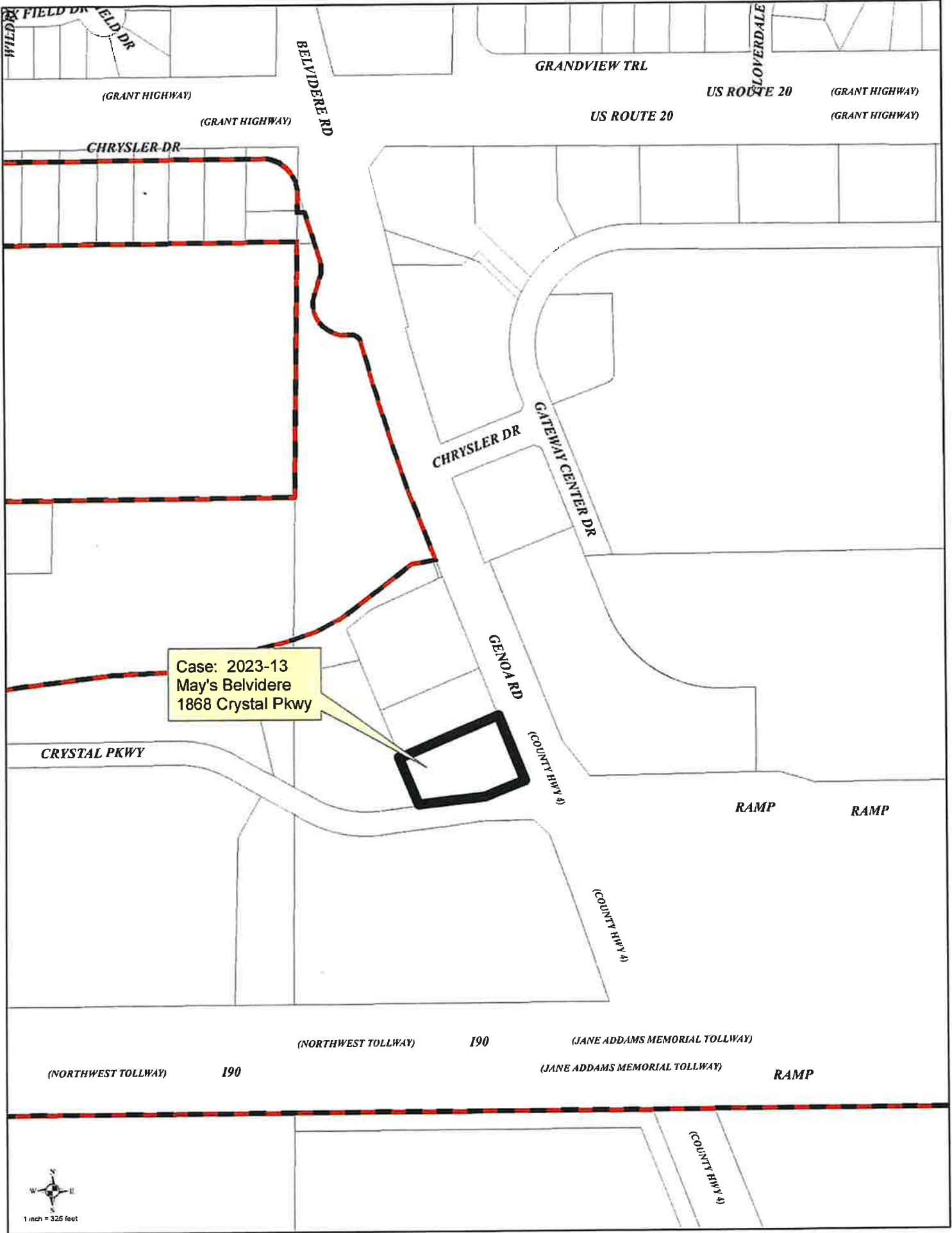

Gina DelRose
Community Development Planner

Review and Recommendation by the Planning and Zoning Commission. The Planning and Zoning Commission shall review the application, adopt findings of fact, and make a recommendation to the City Council.

Review and Action by the City Council. The City Council shall consider the Planning and Zoning Commission's recommendation regarding the proposed special use. The City Council may approve or deny the special use as originally proposed, may approve the proposed special use with modifications or may remand the matter back to the Planning and Zoning Commission for further discussion or hearing. The City Council's approval of the requested special use shall be considered the approval of a unique request, and shall not be construed as precedent for any other proposed special use.

ATTACHMENTS

1. Location Map by Planning Staff.
2. Aerial Photo with by Planning Staff.
3. Narrative submitted by Applicant.
4. Site plan submitted by Applicant.
5. Letter submitted by the Boone County Health Department, Amanda Mehl, April 18, 2023.
6. E-mail submitted by the Boone County Fire Department, Mark Beck, April 18, 2023.



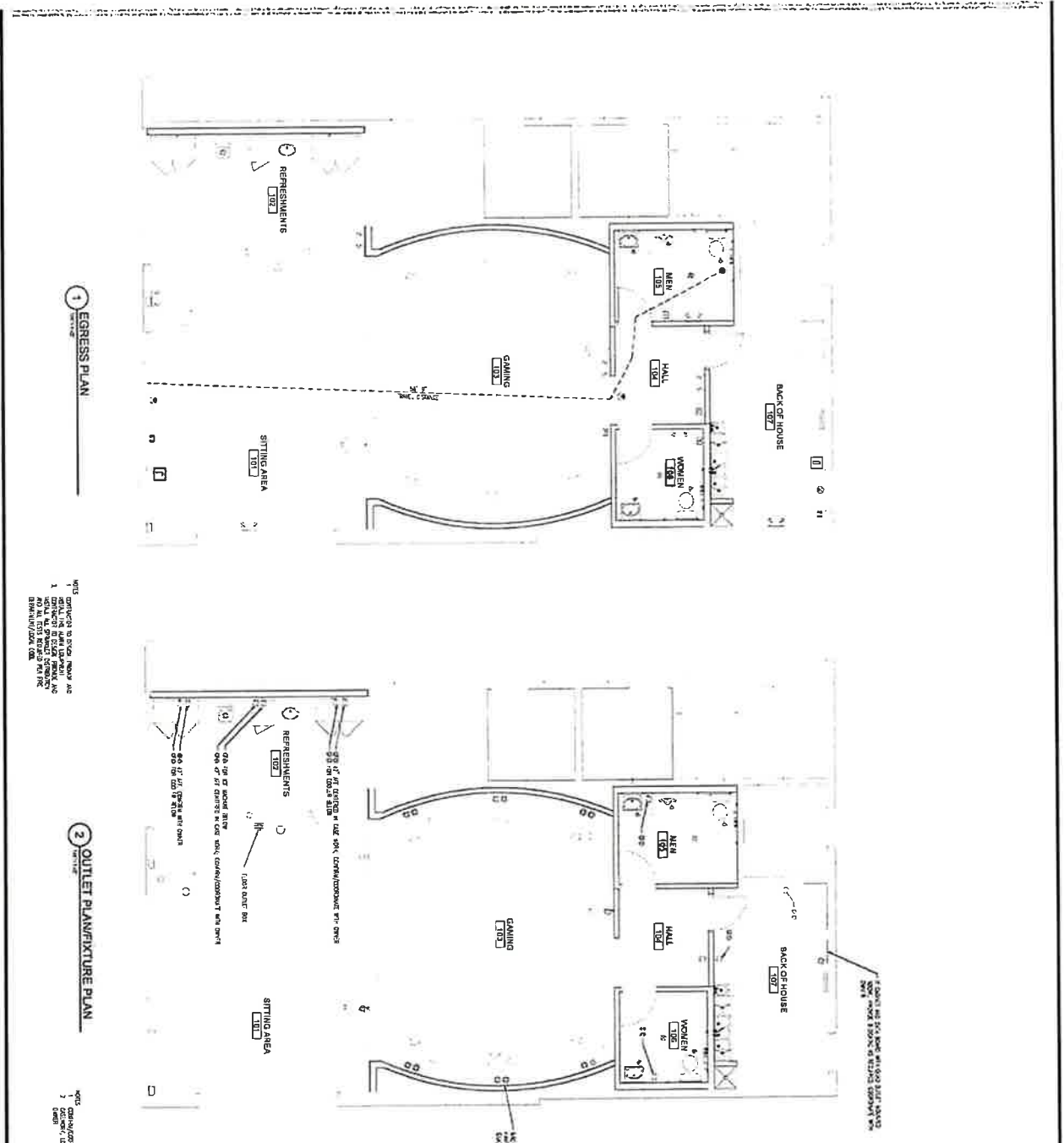
Case: 2023-13
May's Belvidere
1868 Crystal Pkwy





Case: 2023-13
May's Belvidere
1868 Crystal Pkwy

Mays lounge offers top-of-the-line slot machines, a range of beer and wine options, and complimentary soft drinks and packaged food in a high end lounge setting to provide an elevated gaming experience. With a focus on exceptional customer service and personalized experiences, we do not have any affiliation with the marijuana dispensary next door, and we do not allow on-site consumption of marijuana. We aim to provide a unique and upscale environment that caters to a diverse range of customers. Mays lounge has 18 locations operating with over 120 employees.



NOTES:
 1. CONTRACTOR TO VERIFY ROOM AND FINISH SCHEDULES AND ALL FINISHES ARE PERMITTED FOR USE.

NOTES:
 1. CONTRACTOR TO VERIFY ROOM AND FINISH SCHEDULES AND ALL FINISHES ARE PERMITTED FOR USE.

WALL / FLOOR SYMBOLS LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
①	WALL 1/2" GYP	①	WALL 5/8" GYP
②	WALL 1/2" GYP	②	WALL 5/8" GYP
③	WALL 1/2" GYP	③	WALL 5/8" GYP
④	WALL 1/2" GYP	④	WALL 5/8" GYP
⑤	WALL 1/2" GYP	⑤	WALL 5/8" GYP
⑥	WALL 1/2" GYP	⑥	WALL 5/8" GYP
⑦	WALL 1/2" GYP	⑦	WALL 5/8" GYP
⑧	WALL 1/2" GYP	⑧	WALL 5/8" GYP
⑨	WALL 1/2" GYP	⑨	WALL 5/8" GYP
⑩	WALL 1/2" GYP	⑩	WALL 5/8" GYP
⑪	WALL 1/2" GYP	⑪	WALL 5/8" GYP
⑫	WALL 1/2" GYP	⑫	WALL 5/8" GYP
⑬	WALL 1/2" GYP	⑬	WALL 5/8" GYP
⑭	WALL 1/2" GYP	⑭	WALL 5/8" GYP
⑮	WALL 1/2" GYP	⑮	WALL 5/8" GYP
⑯	WALL 1/2" GYP	⑯	WALL 5/8" GYP
⑰	WALL 1/2" GYP	⑰	WALL 5/8" GYP
⑱	WALL 1/2" GYP	⑱	WALL 5/8" GYP
⑲	WALL 1/2" GYP	⑲	WALL 5/8" GYP
⑳	WALL 1/2" GYP	⑳	WALL 5/8" GYP
㉑	WALL 1/2" GYP	㉑	WALL 5/8" GYP
㉒	WALL 1/2" GYP	㉒	WALL 5/8" GYP
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㉙	WALL 1/2" GYP	㉙	WALL 5/8" GYP
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㉛	WALL 1/2" GYP	㉛	WALL 5/8" GYP
㉜	WALL 1/2" GYP	㉜	WALL 5/8" GYP
㉝	WALL 1/2" GYP	㉝	WALL 5/8" GYP
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㊵	WALL 1/2" GYP	㊵	WALL 5/8" GYP
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㊸	WALL 1/2" GYP	㊸	WALL 5/8" GYP
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㊺	WALL 1/2" GYP	㊺	WALL 5/8" GYP
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㊾	WALL 1/2" GYP	㊾	WALL 5/8" GYP
㊿	WALL 1/2" GYP	㊿	WALL 5/8" GYP

NOTES:
 1. 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Public Health
Prevent. Promote. Protect.

Boone County Health Department

1204 Logan Avenue, Belvidere, Illinois 61008
Main Office 815.544.2951 Clinic 815.544.9730 Fax 815.544.2050
www.boonehealth.org

The mission of the Boone County Health Department is to serve our community by preventing the spread of disease, promoting equitable wellness & protecting the public's health.

April 18, 2023

City of Belvidere
Community Development
Gina DelRose
401 Whitney Blvd Suite 300
Belvidere, IL 61008

Email: gdelrose@ci.belvidere.il.us

Re: Case: 2023-13; May's Belvidere, LLC, 1868 Crystal Parkway

Dear City of Belvidere,

We are in receipt of a copy of a special use to permit indoor commercial entertainment which includes a bar and video gaming at 1868 Crystal Parkway, Belvidere, IL 61008 (Belvidere Zoning Ordinance Sections 150.105(C)(4)(B)(2) Indoor Commercial Entertainment and 150.904 Special Use Review and Approval Procedures) in the PB, Planned Business District on approximately 1.5 acres. PIN: 08-06-152-004.

If prepared or temperature controlled foods are served, prior to operation of the establishment a to-scale plan and a food application must be submitted to the Boone County Health Department for review. The plan review fee would be determined when menu information is submitted. Below is the county code explaining this further.

Sec. 30-35. Submission and review of plans; permits.

- (a) *Generally*, whenever a food service establishment or retail food store is constructed or extensively remodeled and whenever an existing structure is converted to use as a food service establishment, properly prepared plans and specifications for such construction, remodeling, or conversion shall be submitted to the regulatory authority for review and approval before construction, remodeling, or conversion is begun. The plans and specifications shall indicate the proposed layout, arrangement, mechanical plans, construction materials of work areas, and the type and model of proposed fixed equipment and facilities.
- (b) *Permit required*. Any business or organization desiring to operate as a food service establishment or retail food establishment must have a current food service permit.
- (c) *Plans, inspection and approval*. Before issuing a food service permit to a new establishment, plans must be submitted to and approved by the health authority. Plans submitted for review must be accompanied by the appropriate plan review fee as listed in section 38-31.

RE: Case: 2023-13; May's Belvidere, LLC, 1868 Crystal Parkway

Date: April 18, 2023

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Food establishment classifications. All food service establishments or retail food establishments shall be categorized according to their type of operation, size of operation, and risk category of the food prepared and/or served and shall obtain a permit for the class of operation as hereinafter defined. The listing of various types of operation is not intended to be all inclusive, but typical and not limited to those mentioned. If a food establishment is not specifically listed, it shall be classified according to the class to which it most closely resembles.

- (1) *Category I High Risk Facility:* is a food establishment that presents a high relative risk of causing foodborne illness based on the large number of food handling operations typically implicated in foodborne outbreaks and/or type of population served by the facility. The following criteria shall be used to classify facilities as Category I High Risk facilities:
 - a. whenever cooling of potentially hazardous foods occurs as part of the food handling operations at the facility;
 - b. when potentially hazardous foods are prepared hot or cold and held hot or cold for more than 12 hours before serving;
 - c. if potentially hazardous foods which have been previously cooked and cooled must be reheated;
 - d. when potentially hazardous foods are prepared for off-premises service for which time-temperature requirements during transportation, holding and service are relevant;
 - e. whenever complex preparation of foods, or extensive handling of raw ingredients with hand contact for ready to eat foods, occurs as a part of the food handling operations at the facility;
 - f. if vacuum packaging and/or other forms of reduced oxygen packaging are performed at the retail level; or
 - g. whenever serving immunocompromised individuals, where these individuals compromise the majority of the consuming population.
- (2) *Category I High Risk Multi-Department Facility:* is a food establishment that presents a high relative risk of causing foodborne illness based on the large number of food handling operations typically implicated in foodborne outbreaks. These facilities have the same criteria as Category I High Risk facilities, and have 3 or more departments within their facilities which need inspection including but not limited to main grocery, bakery, deli, meat and seafood departments.
- (3) *Category II Medium Risk Facility:* is a food establishment that presents a medium risk of causing foodborne illness based upon a few food handling operations typically implicated in foodborne illness outbreaks. The following criteria shall be used to classify facilities as Category II Medium Risk facilities:

RE: Case: 2023-13; May's Belvidere, LLC, 1868 Crystal Parkway

Date: April 18, 2023

Page: 3 of 3

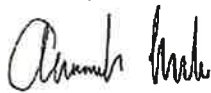
- a. if hot or cold foods are not maintained at that temperature for more than 12 hours and are restricted to same day service;
- b. if preparing foods for service from raw ingredients uses only minimal assembly; and
- c. foods served at an establishment that require complex preparation (whether canned, frozen, or fresh prepared) are obtained from an approved food processing plants, (high risk) food service establishments or retail food stores.

(4) *Category III Low Risk Facility*: is a food establishment that presents a low relative risk of causing foodborne illness based on few or no food handling operations typically implicated in foodborne illness outbreaks. The following criteria shall be used to classify facilities as Category III Low Risk facilities:

- a. only prepackaged foods are available or served in the facility, and any potentially hazardous foods available are commercially pre-packaged in an approved food processing plant;
- b. only limited preparation of non-potentially hazardous foods and beverages, such as snack foods and carbonated beverages occurs at the facility; or
- c. only beverages (alcoholic and non-alcoholic) are served at the facility.

If you have any questions or concerns, please contact us at (815) 544-2951 ext. 2 or at info@boonehealth.org.

Sincerely,



Amanda Mehl
Public Health Administrator
Boone County Health Department

AT

Gina Delrose

From: Mark Beck <mbeck@belviderefire.com>
Sent: Tuesday, April 18, 2023 7:54 AM
To: Gina Delrose
Subject: Re: request for comments 2023-13

This message originated from an **External Source**. DO NOT click links or open attachments unless you recognize the sender and know the content is safe.

Gina,

Concerns we had is to have a lock box dedicated to the tenant space, proper addressing of the property. The fire alarm and sprinkler system I believe is being covered by the other tenant.

thanks

Mark

On Mon, Apr 17, 2023 at 4:47 PM Gina Delrose <gdelrose@ci.belvidere.il.us> wrote:

Please see attached

Gina DelRose

Community Development Planner

City of Belvidere

401 Whitney Boulevard, 61008

(o) 815-547-7177

(f) 815-547-0789

--
Mark Beck
Belvidere Fire Department
Fire Station 1: (815) 544-2735

MEMO

DATE: May 10, 2023
TO: Mayor and Members of the City Council
FROM: City of Belvidere Planning and Zoning Commission
SUBJECT: Recommendation for Case: 2023-13; May's Belvidere, LLC, 1868 Crystal Pkwy

REQUEST AND LOCATION:

The applicant, May's Belvidere LLC, 100 W. Higgins Road #H71, South Barrington, IL 60010 on behalf of the property, Belvidere Retail, LLC, 5277 Trillium Boulevard, Hoffman Estates, IL 60192 is requesting a special use to permit indoor commercial entertainment which includes a bar and video gaming at 1868 Crystal Parkway, Belvidere, IL 61008 (Belvidere Zoning Ordinance Sections 150.105(C)(4)(B)(2) Indoor Commercial Entertainment and 150.904 Special Use Review and Approval Procedures) in the PB, Planned Business District on approximately 1.5 acres. PIN: 08-06-152-004. The property is being developed with a 6,000 square-foot multi-tenant building and parking area.

RECOMMENDATION:

The planning and zoning commission recommended the **approval** of case number **2023-13** for a special use to permit indoor commercial entertainment at 1868 Crystal Parkway subject to the following conditions:

1. The special use is only for the tenant space commonly known as 1868 Crystal Parkway.
2. Open alcohol is prohibited outside the premises unless otherwise permitted.

Motion to approve case 2023-13; May's Belvidere, LLC, 1868 Crystal Parkway subject to the conditions carried with a (5-0) roll call vote.

Paul Engelman, Chairman
Belvidere Planning and Zoning Commission

MEMO

DATE: May 10, 2023

TO: Mayor and Members of the City Council

FROM: City of Belvidere Planning and Zoning Commission

SUBJECT: Findings of Fact for Case: 2023-13; May's Belvidere, LLC, 1868 Crystal Parkway

REQUEST AND LOCATION:

The applicant, May's Belvidere LLC, 100 W. Higgins Road #H71, South Barrington, IL 60010 on behalf of the property, Belvidere Retail, LLC, 5277 Trillium Boulevard, Hoffman Estates, IL 60192 is requesting a special use to permit indoor commercial entertainment which includes a bar and video gaming at 1868 Crystal Parkway, Belvidere, IL 61008 (Belvidere Zoning Ordinance Sections 150.105(C)(4)(B)(2) Indoor Commercial Entertainment and 150.904 Special Use Review and Approval Procedures) in the PB, Planned Business District on approximately 1.5 acres. PIN: 08-06-152-004. The property is being developed with a 6,000 square-foot multi-tenant building and parking area.

FINDINGS OF FACT:

Per Section 150.904 (G) of the City of Belvidere Zoning Ordinance, the criteria for granting a Special Use Permit are as follows:

- A. Findings: The establishment, maintenance, or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

The requested special use is for indoor commercial entertainment which includes a variety of land uses such as alcohol consumption and video gaming. This is the second gaming operation requested within the Belvidere Retail Subdivision. The property is located in the Planned Business District where businesses that serve alcohol and have video gaming machines have developed. The location is within a multi-tenant commercial building that has a parking lot large enough to accommodate a variety of land uses.

- B. Findings: The proposed special use, both its general use independent of its location and in its specific location, will be in harmony with the purposes, goals, objectives, policies, and standards of the City of Belvidere Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to Notice of Public Hearing by the City.**

The Comprehensive Plan shows the property and all adjacent properties as planned business. Food establishments, bars/taverns and arcades are considered appropriate uses in the planned business category. The planned business district encourages high quality indoor commercial, office and institutional land uses, with generous landscaping and limited signage.

- C. **Findings:** The special use will not in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to Notice of Public Hearing by the City or governmental agency having jurisdiction to guide development.

The planning staff is not aware of any negative issues that similar developments have caused to surrounding properties. The special use will be in compliance with the Comprehensive Plan; the site will be required to be in conformance with the requirements of the City of Belvidere's Zoning Ordinance.

Access to the property is from Genoa Road and Crystal Parkway. The cross-access easements were reviewed as part of the planned development special use. The subdivision is isolated for the time being, limiting the impact businesses can have on each other.

- D. **Findings:** The establishment of the special use will not impede the normal and orderly development and improvement of surrounding property, and maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The establishment will add to the businesses that travelers along I-90 can patronize. There is adequate parking and vehicle access to the property. The planning staff does not anticipate that this special use will deter development when similar businesses have not previously affected the subdivisions they are located in.

- E. **Findings:** The proposed special use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvement facilities, utilities or services provided by public agencies servicing the subject property.

The subject property is being developed with a multi-tenant building and is served with municipal utilities.

- F. **Findings:** The potential public benefit of the proposed special use outweighs any and all potential adverse impacts of the proposed special use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

The nearest non-residential land uses are at a distance that provides an adequate buffer to a business that has later hours and entertainment factors. Although indoor commercial entertainment was a classification created by the adoption of the City's 2006 Zoning Ordinance, in 2013 the City ruled that the video gaming machines could also locate within the Planned Business District with a special use.

The motion to adopt the Findings of Fact as presented by staff for case 2023-13 for a special use to permit indoor commercial entertainment at 1868 Crystal Parkway carried with a (5-0) roll call vote.

Paul Engelman, Chairman
Belvidere Planning and Zoning Commission

ORDINANCE #629H
 AN ORDINANCE AMENDING SECTION 110-92, Yield Intersections,
 OF THE CITY OF BELVIDERE MUNICIPAL CODE
 TO ADD GROVER St. AND BIESTER Dr.
 AS TWO-WAY YIELD

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Belvidere as follows:

SECTION 1: Section 110-92, Yield Intersections, of the City of Belvidere Municipal Code is hereby amended to add the intersection of Grover St. and Biester Dr. as a two-way yield intersection on Grover St. as follows:

Grover St.	Biester Dr.	2 Way Yield on Grover St. / East & West	
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SECTION 2: The Official Traffic Regulation Map shall be amended in conformance with this Ordinance.

SECTION 3: If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 4: All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 5: This Ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as required by law which publication is hereby authorized.

Voting Aye: .
 Voting Nay: .
 Absent: .

APPROVED:

Mayor Clinton Morris

ATTEST:

City Clerk Sarah Turnipseed

(SEAL)

Passed:
Approved:
Published: