

State of Illinois) SS
Belvidere, Illinois)

BELVIDERE CITY COUNCIL
REGULAR MEETING
AGENDA

September 17, 2018

Convened in the Council Chambers, 401 Whitney Blvd, Belvidere IL at 7:00 p.m.
Mayor Chamberlain presiding.

- (1) Roll Call:
- (2) Pledge of Allegiance:
Invocation:
- (3) Public Comment: (Please register with the City Clerk):
- (4) Approval of minutes of the regular meeting of the Belvidere City Council of September 4, 2018; as presented.
- (5) Public Hearing: None.
- (6) Special Messages and Proclamations:
- (7) Approval of Expenditures: General & Special Fund Expenditures: \$1,064,745.34
Water & Sewer Fund Expenditures: \$ 440,563.05
- (8) Committee Reports and Minutes of City Officers:
 - (A) Belvidere Police Department Overtime Report of August 28, 2018 through September 10, 2018.
 - (B) Belvidere Fire Department Overtime Report of August 19, 2018 and August 29, 2018 through September 11, 2018.
 - (C) Monthly Building Department Revenues – August 2018.
 - (D) Monthly Community Development/Planning Department Report for August 2018.
 - (E) Monthly Treasurer's Report for August 2018.
 - (F) Monthly General Fund Report for August 2018.
 - (G) Monthly Water/Sewer Fund Report for August 2018.
 - (H) Minutes of City-County Coordinating Committee of July 11, 2018.
 - (I) Minutes of Planning and Zoning Commission of September 11, 2018.
 - (J) Minutes of Committee of the Whole – Building, Planning and Zoning and Public Works of September 10, 2018.

(9) Unfinished Business:

- (A) Ord. #423H – 2nd Reading: An Ordinance Amending Section 10-37, Prohibited Employment of the City of Belvidere Municipal Code.

(10) New Business:

- (A) Ord. #424H – 1st Reading: An Ordinance Designating a Landmark to the Local Historic Register Hotchkiss House – 527 Pearl Street.
- (B) Ord. #425H – 1st Reading: An Ordinance Amending Chapter 150, Zoning Ordinance of the Municipal Code (Small Wireless Facility).
- (C) Ord. #426H – 1st Reading: An Ordinance Granting a Special Use to Permit Accessory Outdoor Storage within the PI, Planned Industrial District (675 Corporate Parkway).
- (D) Ord. #427H – 1st Reading: An Ordinance Approving a Replat Titled Plat 5 of Sager Corporate Park.
- (E) Ord. #428H – 1st Reading: An Ordinance Granting a Special Use to Permit Indoor Commercial Entertainment within the PB, Planned Business District (2195 North State Street).
- (F) Res. 2084-2018: A Resolution Approving an Extension for Expiration of a Special Use (Ord. #273H) Pursuant to Section 150.904(K) of the City of Belvidere Municipal Code.

Motions forwarded from City-County Coordinating Committee of July 11, 2018.
Motions of Co-Chairman Snow.

- (A) Motion to approve invoice #291528 from TRC in the amount of \$4,228.04 with a 50/50 split between the City and County.
- (B) Motion to approve invoice #71256 from Wilson Electric in the amount of \$650 with a 50/50 split between the City and County.

Motion forwarded from Committee of the Whole – Building, Planning and Zoning and Public Works of September 10, 2018.
Motions Chairman Brooks.

- (A) Motion to approve Change Order #2 for the WWTP Sludge Thickening Project in the amount of \$74,686. This work will be paid from the Sewer Depreciation Fund.

(11) Adjournment:

State of Illinois SS
Belvidere, Illinois

**Belvidere City Council
Regular Session
Minutes**

Date: September 4, 2018

Convened in the Belvidere City Council Chambers, 401 Whitney Blvd, Belvidere Illinois at 7 p.m.

Call to order by Mayor Chamberlain.

- (1) Roll Call: Present: R. Brooks, G. Crawford, W. Frank, M. Freeman,
T. Porter, T. Ratcliffe, M. Sanderson, D. Snow and C. Stevens.
Absent: M. Borowicz.

Other staff members in attendance:

Budget and Finance Director Becky Tobin, Building Director Lesa Morelock,
Public Works Director Brent Anderson, Community Development Planner Gina
DelRose, Fire Chief Hyser, Police Chief Woody, City Attorney Drella and
City Clerk Arco.

- (2) Pledge of Allegiance:
Invocation:

(3) Public Comment:

(4) Approval of Minutes:

- (A) Approval of minutes of the regular meeting of the Belvidere City Council of
August 20, 2018; as presented.

Motion by Ald. Brooks, 2nd by Ald. Snow to approve the minutes of the regular meeting
of the Belvidere City Council of August 20, 2018. Roll Call Vote: 9/0 in favor.

Ayes: Brooks, Crawford, Frank, Freeman, Porter, Ratcliffe, Sanderson, Snow and
Stevens. Nays: None. Motion carried.

(5) Public Hearing: None.

(6) Special Messages: Mayor Chamberlain presented a Proclamation for Constitution
Week to Kathy Hughes from the Daughters of the American Revolution.

(7) Approval of Expenditures: None.

(8) Committee Reports & Minutes of City Officers:

(A) Belvidere Police Department Overtime Report of August 14, 2018 through August 27, 2018.

(B) Belvidere Fire Department Overtime Report of August 15, 2018 through August 28, 2018.

Let the record show these reports were placed on file.

(C) Minutes of Committee of the Whole – Public Safety and Finance and Personnel of August 27, 2018.

Motion by Ald. Sanderson, 2nd by Ald. Porter to approve the minutes of Committee of the Whole – Public Safety and Finance and Personnel of August 27, 2018. Roll Call Vote: 8/0/1 in favor. Ayes: Frank, Freeman, Porter Ratcliffe, Sanderson, Snow, Stevens and Brooks. Nays: None. Abstain: Crawford. Motion carried.

(9) Unfinished Business:

(A) Ord. #415H -2nd Reading: An Ordinance Amending Chapter 150, Zoning Ordinance of the Municipal Code (Nonconforming Use Regulations).

Motion by Ald. Ratcliffe, 2nd by Ald. Snow to pass Ord. #415H. Roll Call Vote: 9/0 in favor. Ayes: Frank, Freeman, Porter, Ratcliffe, Sanderson, Snow, Stevens, Brooks and Crawford. Nays: None. Motion carried.

(B) Ord. #416H – 2nd Reading: An Ordinance Granting a Special Use to Permit a Solar Farm within the RH, Rural Holding District (825 N. Appleton Road).

Motion by Ald. Snow, 2nd by Ald. Ratcliffe to pass Ord. #416H. Roll Call Vote: 9/0 in favor. Ayes: Freeman, Porter, Ratcliffe, Sanderson, Snow, Stevens, Brooks, Crawford and Frank. Nays: None. Motion carried.

(C) Ord. #417H – 2nd Reading: An Ordinance Granting a Special Use to Allow Indoor Commercial Entertainment (Bar/Tavern with Video Gaming) within the GB, General Business District (1776 Logan Avenue).

Motion by Ald. Sanderson, 2nd by Ald. Crawford to pass Ord. #417H. Roll Call Vote: 9/0 in favor. Ayes: Porter, Ratcliffe, Sanderson, Snow, Stevens, Brooks, Crawford, Frank and Freeman. Nays: None. Motion carried.

(D) Ord. #418H – 2nd Reading: An Ordinance Granting a Special Use to Allow Indoor Commercial Entertainment (Bar/Tavern with Video Gaming) within the CB, Central Business District (522 South State Street).

Motion by Ald. Snow, 2nd by Ald. Ratcliffe to pass Ord. #418H. Roll Call Vote: 9/0 in favor. Ayes: Ratcliffe, Sanderson, Snow, Stevens, Brooks, Crawford, Frank, Freeman and Porter. Nays: None. Motion carried.

(E) Ord. #419H – 2nd Reading: An Ordinance Granting a Special Use to Permit In-Vehicle Sales or Service within the GB, General Business District (925 Logan Avenue).

Motion by Ald. Crawford, 2nd by Ald. Snow to pass Ord. #419H. Roll Call Vote: 9/0 in favor. Ayes: Sanderson, Snow, Stevens, Brooks, Crawford, Frank, Freeman, Porter and Ratcliffe. Nays: None. Motion carried.

(F) Ord. #420H – 2nd Reading: An Ordinance Granting a Special Use to Amend a Planned Development within the SR-4, Single Family Residential-4 District (Shaw Mills and Glenmoor of River Run Subdivisions).

Motion by Ald. Crawford, 2nd by Ald. Ratcliffe to pass Ord. #420H. Roll Call Vote: 9/0 in favor. Ayes: Snow, Stevens, Brooks, Crawford, Frank, Freeman, Porter, Ratcliffe and Sanderson. Nays: None. Motion carried.

(G) Ord. #421H – 2nd Reading: An Ordinance Amending Chapter 150, Zoning Ordinance of the Municipal Code (Nonconforming Use Regulations).

Motion by Ald. Frank, 2nd by Ald. Brooks to pass Ord. #421H. Roll Call Vote: 9/0 in favor. Ayes: Stevens, Brooks, Crawford, Frank, Freeman, Porter, Ratcliffe, Sanderson and Snow. Nays: None. Motion carried.

(H) Ord. #422H – 2nd Reading: An Ordinance Granting a Special Use to Permit a Single-Family Residence within the CB, Central Business District (519 South Main Street).

Motion by Ald. Snow, 2nd by Ald. Ratcliffe to pass Ord. #422H. Roll Call Vote: 9/0 in favor. Ayes: Brooks, Crawford, Frank, Freeman, Porter, Ratcliffe, Sanderson, Snow and Stevens. Nays: None. Motion carried.

(I) Motion to approve the proposal from Northern Contracting in the amount of \$9,620 for the installation of a 30' cantilever gate. This work will be paid for from Street Department line item #01-5-310-6002. Tabled August 20, 2018.

Motion by Ald. Snow, 2nd by Ald. Frank to remove from the table. Roll Call Vote: 7/2 in favor. Ayes: Crawford, Frank, Freeman, Porter, Ratcliffe, Snow and Brooks. Nays: Sanderson and Stevens. Motion carried. Motion by Ald. Stevens, 2nd by Ald. Sanderson to table. Roll Call Vote: 4/5 in favor. Ayes: Frank, Porter, Sanderson and Stevens. Nays: Freeman, Ratcliffe, Snow, Brooks and Crawford. Motion lost. Motion by Ald. Crawford, 2nd by Ald. Snow to approve the proposal from Northern Contracting in the amount of \$9,620 for the installation of a 30' cantilever gate. This work will be paid for from Street Department line item #01-5-310-6002. Roll Call Vote: 7/2 in favor. Ayes: Freeman, Porter, Ratcliffe, Snow, Brooks, Crawford and Frank. Nays: Sanderson and Stevens. Motion carried.

(10) New Business:

- (A) Ord. #423H – 1st Reading: An Ordinance Amending Section 10-37, Prohibited Employment of the City of Belvidere Municipal Code.

Let the record show Ordinance #423H was placed on file for first reading.

- (B) Res. #2083-2018: A Resolution Authorizing the Execution of a Collective Bargaining Agreement with the Belvidere Fire Department Officers a Historic Bargaining Unit ILRB Case S-CA-09-125.

Motion by Ald. Ratcliffe, 2nd by Ald. Snow to adopt Res. #2083-2018. Roll Call Vote: 9/0 in favor. Ayes: Porter, Ratcliffe, Sanderson, Snow, Stevens, Brooks, Crawford, Frank and Freeman. Nays: None. Motion carried.

- (C) Reconsideration of Ordinance #412H – An Ordinance Creating a Home Rule Municipal Retailers Occupation Tax and Home Rule Municipal Service Occupation Tax for the City of Belvidere, Illinois.

Motion by Ald. Freeman, 2nd by Ald. Stevens to reconsider vote of Ord. #412H. Mayor Chamberlain read an article published in the Rock River Times by Alderman Stevens. Roll Call Vote to reconsider: 5/5 tied – Motion lost. Ayes: Sanderson, Stevens, Frank, Freeman and Porter. Nays: Ratcliffe, Snow, Brooks, Crawford and Mayor Chamberlain.

Motions forwarded from Committee of the Whole – Public Safety and Finance and Personnel of August 27, 2018.

- (A) Motion to approve the Intergovernmental Agreement for Police Services (Conservation District). Roll Call Vote: 9/0 in favor. Ayes: Sanderson, Snow, Stevens, Brooks, Crawford, Frank, Freeman, Porter and Ratcliffe. Nays: None. Motion carried.

(B) Motion to approve entering into an equipment maintenance agreement with Marco Technologies LLC. Roll Call Vote: 9/0 in favor. Ayes: Snow, Stevens, Brooks, Crawford, Frank, Freeman, Porter, Ratcliffe and Sanderson. Nays: None. Motion carried.

(C) Motion to approve the proposal from Engel Electric in the amount of \$25,808 to complete the installation of a new VFD at Well #4 and install the soft start from Well #4 at Well #5. This work will be paid for from line item #61-1790 Water Depreciation. Roll Call Vote: 9/0 in favor. Ayes: Stevens, Brooks, Crawford, Frank, Freeman, Porter, Ratcliffe, Sanderson and Snow. Nays: None. Motion carried.

(D) Motion to approve the low bid from Municipal Well & Pump for the chemical treatment and disinfection of Well #7 in the amount of \$162,330. This work will be paid for from the Water System Depreciation Account. Roll Call Vote: 9/0 in favor. Ayes: Brooks, Crawford, Frank, Freeman, Porter, Ratcliffe, Sanderson, Snow and Stevens. Nays: None. Motion carried.

(11) Adjournment:

Motion by Ald. Crawford, 2nd by Ald. Porter to adjourn the meeting at 8:42 p.m. Aye voice vote carried. Motion carried.

_____ Mayor

Attest: _____ City Clerk

Bills Payable Summary
September 17, 2018

General Fund:	\$1,041,695.98
Envision Healthcare (JE)	\$ 22,673.41

Special Funds:

Farmington Ponds SSA#2	\$ 142.28
Farmington Ponds SSA#3	\$ 233.67

Total General & Special Funds:	\$1,064,745.34
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Water & Sewer:	\$ 440,563.05
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Total of all Funds:	\$1,505,308.39
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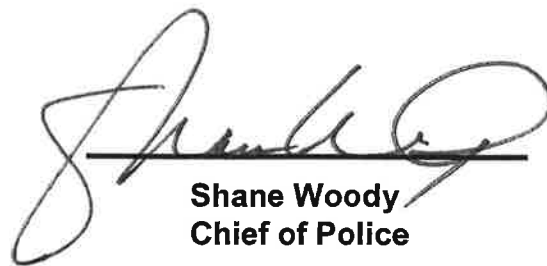
Belvidere Police Department Payroll Report

Dept: 1790

9/11/2018

For Overtime Incurred between 8/28/18 and 9/10/18

Last Name:	Employee ID:	Total Hours:	Total Overtime Pay:
Abonce	01014	1	\$36.66
Ball	00739	9.5	\$529.10
Bell	00813	15.5	\$863.27
Berillo	00941	6	\$272.97
Bird	00793	3	\$167.09
Dammon	00657	4.5	\$280.73
Davenport	00935	15	\$682.43
Delavan	00848	8	\$445.56
Derry	00816	7	\$389.87
Ellingson	00758	5.5	\$306.32
Garcia	00988	21	\$883.58
Jones	00772	8.5	\$473.41
Kaplan	00858	7	\$365.30
King	00868	10	\$516.00
Korn	00989	4	\$163.80
Mears	10050	9.5	\$389.03
Moore	00707	5.5	\$306.32
Parker,B	00686	23	\$1,280.99
Reese	00979	5.5	\$231.41
Smaha	00659	5.5	\$343.12
Sommerfield	00843	0.5	\$27.85
Washburn	00784	9	\$561.47
Worley	00992	6	\$245.70
Zapf	00934	2	\$90.99
Totals:		192	\$9,852.94



Shane Woody
Chief of Police

Belvidere Fire Department
Overtime Report
Date Between {08/29/2018} And {09/11/2018}

Date	Time	Incident	Pay Type	Activity Type	Hours Wkd	Hrs Paid	Pay
00866 Beck, Mark E							
09/11/2018	09:30		OT	CPRI C.P.R. Instruction	4.00	4.00	155.08
Staff Member Totals:					4.00	4.00	155.08
00754 Burdick, David J							
09/06/2018	09:30		OT	TRE EMS Training	2.00	2.00	89.16
Staff Member Totals:					2.00	2.00	89.16
00787 Cunningham, Chad L							
09/10/2018	07:00		OT	TREP Initial Paramedic	10.00	10.00	387.70
Staff Member Totals:					10.00	10.00	387.70
00966 Ellwanger, Adam A							
09/04/2018	13:30		OT	TREP Initial Paramedic	3.50	3.50	112.73
Staff Member Totals:					3.50	3.50	112.73
00601 Holmes, Gregory A							
08/30/2018	13:00	18-0002067	OT	GRI General Recall for	1.50	2.00	93.04
Staff Member Totals:					1.50	2.00	93.04
00881 Kriebs, James J							
09/08/2018	09:30		OT	TRTR Technical Rescue	2.50	2.50	96.45
09/11/2018	10:00		OT	TRE EMS Training	2.50	2.50	96.45
09/11/2018	12:30		OT	GRM General Recall Due to	1.50	1.50	57.87
Staff Member Totals:					6.50	6.50	250.77
00993 Mead, Stephen C.							
08/30/2018	13:00	18-0002067	OT	GRI General Recall for	1.75	2.00	56.28
Staff Member Totals:					1.75	2.00	56.28
00958 Pavlatos, Gregory R							
08/30/2018	13:00	18-0002067	OT	GRI General Recall for	1.50	2.00	63.78
09/01/2018	07:00		OT	SCV Shift Coverage for	24.00	24.00	765.36
Staff Member Totals:					25.50	26.00	829.14
00852 Schadle, Shawn W							
09/04/2018	11:45		OT	GRM General Recall Due to	2.00	2.00	93.04
Staff Member Totals:					2.00	2.00	93.04
00781 Swanson, Jason A							
09/06/2018	09:30		OT	TRE EMS Training	2.00	2.00	77.16
Staff Member Totals:					2.00	2.00	77.16
00969 Tangye, Travis N							
08/29/2018	08:30		OT	IN Inspection Bureau	2.00	2.00	64.42
08/30/2018	13:00	18-0002067	OT	GRI General Recall for	1.50	2.00	64.42
09/10/2018	07:00		OT	SCV Shift Coverage for	24.00	24.00	773.04
Staff Member Totals:					27.50	28.00	901.88

Belvidere Fire Department

Overtime Report

Date Between {08/29/2018} And {09/11/2018}

Date	Time	Incident	Pay Type	Activity Type	Hours Wkd	Hrs Paid	Pay
00882 Thornton, Nicolas J							
09/10/2018	10:00		OT	TRF Fire Training	2.00	2.00	77.16
Staff Member Totals:					2.00	2.00	77.16
00556 Wilcox, Craig A							
08/29/2018	14:00		OT	IN Inspection Bureau	3.50	3.50	156.03
09/04/2018	07:30		OT	INR Reimbursable Plan	3.75	3.75	167.17
09/04/2018	11:45		OT	GRM General Recall Due to	2.50	2.50	111.45
09/04/2018	13:45		OT	INR Reimbursable Plan	3.00	3.00	133.74
09/05/2018	08:30		OT	IN Inspection Bureau	5.50	5.50	245.19
09/07/2018	07:30		OT	IN Inspection Bureau	4.50	4.50	200.61
Staff Member Totals:					22.75	22.75	1014.19
00956 Williams, Glenn							
08/30/2018	13:00	18-0002067	OT	GRI General Recall for	1.50	2.00	63.78
Staff Member Totals:					1.50	2.00	63.78
00629 Zumbragel, Mark J							
08/30/2018	13:00	18-0002067	OT	GRI General Recall for	1.50	2.00	92.84
Staff Member Totals:					1.50	2.00	92.84
All Staff Member Totals:					114.00	116.75	4,293.96

Types: F=Fire, M=EMS/Medical, R=Rescue, O=Other

Belvidere Fire Department

Overtime Report

Date Between {08/19/2018} And {08/19/2018} and

Staff ID = "00852

"

Activity Type

Hours Wkd

Date	Time	Incident	Pay Type		Hrs Paid	Pay
00852	Schadle, Shawn W					
08/19/2018	07:00		OT SCV Shift Coverage for	24.00	24.00	1094.64
			Staff Member Totals:	24.00	24.00	1094.64
			All Staff Member Totals:	24.00	24.00	1,094.64

Types: F=Fire, M=EMS/Medical, R=Rescue, O=Other



City of Belvidere Building Department Revenues

August 2018



Total Permits Issued	111	
Total Value of Construction		\$1,171,004.00
Building Fees	111	\$19,557.50
Electric Permit Fees	12	\$1,836.00
Plumbing Permit Fees	8	\$780.00
HVAC Permit Fees	5	\$479.00
Insulation Permit Fees	3	\$100.00
Plan Review Fees	3	\$2,050.25
Zoning Review Fees	25	\$300.00
Pool Permit Fees	0	\$0.00
Sign Permit Fees	2	\$90.00
Fence Permit Fees	11	\$165.00
SW, DW, & GR Fees	1	\$85.00
Total Permit Income		\$25,442.75
Enterprise Zone Discount	4	\$3,941.25
Total Permit Fees	111	\$29,384.00
Break Down of Commercial vs. Residential Income		
Commercial / Industrial Income	26	\$13,136.75
Residential Income	85	\$12,306.00
Value		
Multi Family	0	\$0.00
Single Family Residence	1	\$99,700.00
Commercial / Industrial	26	\$1,615,620.00
Other Residential	84	\$448,202.00

August 2018 Building Department Deposit Report

DATE	BUILDG	ELECT	PLUMBG	HVAC	INSL	REVV	ZONG	SIGN	FENCE	SW&DW	AMT PAID	EZ DISC	TOTAL FEE	CODE ENF	ELECTR	TOTAL DEP
07/31/2018	260.00						10.00		15.00		285.00		285.00			285.00
08/01/2018	1330.00						10.00		15.00		1355.00	1125.00	2480.00			1355.00
08/03/2018	3320.00	600.00	130.00	62.00		1668.50	10.00		15.00		5805.50		5805.50	100.00		5905.50
08/08/2018	1210.00		65.00				20.00		15.00		1310.00		1310.00			1310.00
08/08/2018	712.50	200.00	65.00	60.00		348.75	10.00		15.00		1411.25	946.25	2357.50			1411.25
08/09/2018	1170.00										1170.00		1170.00			1170.00
08/14/2018	865.00						10.00				875.00		875.00			875.00
08/14/2018	535.00	25.00					35.00		15.00		610.00		610.00			610.00
08/16/2018	435.00						10.00				445.00		445.00			445.00
08/17/2018	1065.00	60.00	65.00				10.00		15.00		1215.00		1215.00			1215.00
08/21/2018	985.00						10.00				995.00		995.00	2300.00		3295.00
08/21/2018	1450.00	25.00	65.00				10.00				1550.00		1550.00		50.00	1600.00
08/22/2018	250.00						25.00	60.00			335.00		335.00			335.00
08/23/2018	1270.00	356.00	260.00	162.00	65.00	33.00	20.00			85.00	2251.00		2251.00			2251.00
08/24/2018	2117.50	290.00	65.00	110.00	25.00		32.50		30.00		2670.00	1815.00	4485.00			2670.00
08/27/2018	235.00	20.00			10.00						265.00		265.00			265.00
08/28/2018	280.00		65.00								345.00		345.00	300.00		645.00
08/29/2018	477.50						22.50	30.00	15.00		545.00	55.00	600.00			545.00
08/31/2018	1590.00	260.00		85.00			55.00		15.00		2005.00		2005.00			2005.00
	19557.50	1836.00	780.00	479.00	100.00	2050.25	300.00	90.00	165.00	85.00	25442.75	3941.25	29384.00	2700.00	50.00	28192.75

August 2018 Building Permits Report

Permit #	Date	Street Name	Zone	Value	Construction Type	Building Fee	Electric Fee	Plumbing fee	HVAC Fee	MISC Fee	Review Fee	zoning Fee	Sign Fee	Fence Fee	SW/2BW Fee	Ambient Fee	ES/Discount	Total Fee	Total Disput
4431-080918	08/09/18	2210 Oakbrook Dr	SR4	\$9,000.00	tear-off reroof	\$170.00									\$170.00		\$170.00	\$170.00	
4433-081018	08/10/18	1346 Warren Ave	SR6	\$2,700.00	sliding	\$80.00											\$80.00	\$80.00	\$80.00
4437-081018	08/10/18	409 Streamwood Ln	SR6	\$6,000.00	tear-off reroof	\$125.00											\$125.00	\$125.00	\$125.00
4438-081018	08/13/18	2132 Northwood Dr	SR6	\$6,000.00	tear-off reroof	\$125.00											\$125.00	\$125.00	\$125.00
4439-081018	08/13/18	2126 Northwood Dr	SR6	\$6,300.00	tear-off reroof	\$140.00											\$140.00	\$140.00	\$140.00
4441-081318	08/13/18	2513 Ridgfield	SR4	\$6,000.00	tear-off reroof	\$125.00											\$125.00	\$125.00	\$125.00
4442-081318	08/13/18	907 Pearl St	SR6	\$1,200.00	porch repair							\$10.00					\$75.00	\$75.00	\$75.00
4443-081318	08/13/18	728 Union	SR6	\$7,000.00	windows	\$140.00											\$140.00	\$140.00	\$140.00
4444-081318	08/13/18	1205 Garfield Ave	SR6	\$1,800.00	gar roof	\$65.00											\$65.00	\$65.00	\$65.00
4184-062018	08/14/18	725 Logistics Dr	PI	\$25,676.00	smokg shelter	\$405.00						\$25.00					\$430.00	\$430.00	\$430.00
4446-084418	08/14/18	112 W Pleasant St	CB	\$990.00	elect outlet	\$25.00											\$25.00	\$25.00	\$25.00
4440-081318	08/14/18	1901 Chamberlain St	SR4	\$2,897.00	window	\$80.00											\$80.00	\$80.00	\$80.00
4432-080918	08/14/18	B01 E Madison St	SR6	\$4,800.00	fence	\$25.00						\$10.00			\$15.00		\$50.00	\$50.00	\$50.00
4452-081518	08/15/18	2186 Blossom Ln	MRBL	\$1,800.00	gar roof	\$65.00											\$65.00	\$65.00	\$65.00
4454-081518	08/15/18	906 W 9th St	SR6	\$5,000.00	2 doors	\$110.00											\$110.00	\$110.00	\$110.00
4458-081518	08/15/18	2794 Mary St	SR4	\$4,000.00	pool	\$95.00											\$105.00	\$105.00	\$105.00
4459-081518	08/15/18	309 E Locust St	SR6	\$4,000.00	fire demo house	\$165.00											\$165.00	\$165.00	\$165.00
4453-081518	08/16/18	205 Bear Dusk Way	SR4	\$9,000.00	tear-off reroof	\$170.00											\$170.00	\$170.00	\$170.00
4457-081518	08/16/18	2812 Stonington Ct	SR4	\$6,000.00	tear-off reroof	\$125.00											\$125.00	\$125.00	\$125.00
4461-081618	08/16/18	1105 N State St	GB	\$0.00	submittal	\$100.00											\$100.00	\$100.00	\$100.00
4462-081618	08/16/18	1119 N State St	GB	\$0.00	submittal	\$100.00											\$100.00	\$100.00	\$100.00
4464-081718	08/17/18	1205 W 5th St	SR6	\$2,700.00	tear-off reroof	\$90.00											\$80.00	\$80.00	\$80.00
4465-081718	08/17/18	1203 S Main St	SR6	\$4,200.00	tear-off reroof	\$110.00											\$110.00	\$110.00	\$110.00
4466-081718	08/17/18	1103 S Main St	SR6	\$6,600.00	tear-off reroof	\$140.00											\$140.00	\$140.00	\$140.00
4467-081718	08/17/18	1604 Wells Way	SR4	\$12,500.00	in-ground pool	\$215.00	\$30.00	\$65.00				\$10.00			\$15.00		\$335.00	\$335.00	\$335.00
4468-081718	08/17/18	2794 Mary St	SR4	\$250.00	elct for pool	\$25.00											\$5.00	\$5.00	\$5.00
4434-081018	08/20/18	306 Andrews Dr	SR6	\$16,740.00	windows	\$290.00											\$290.00	\$290.00	\$290.00
4435-081018	08/20/18	206 Fairview St	SR6	\$4,230.00	windows	\$110.00											\$110.00	\$110.00	\$110.00
4436-081018	08/20/18	819 Grover St	SR6	\$1,394.00	windows	\$65.00											\$65.00	\$65.00	\$65.00
4445-081318	08/20/18	805 W 12th St	SR6	\$1,000.00	pergola	\$65.00											\$75.00	\$75.00	\$75.00
4469-082018	08/20/18	2134 Derby	SR4	\$9,997.00	18 conds deck FO	\$185.00											\$185.00	\$185.00	\$185.00
4470-082018	08/20/18	204 Fox Ln	MRBL	\$2,000.00	gar roof	\$65.00											\$65.00	\$65.00	\$65.00
4471-082018	08/20/18	2301 Ridgfield Dr	SR4	\$5,400.00	tear-off reroof	\$125.00											\$125.00	\$125.00	\$125.00

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Permit #	Date	Street Name	Unit	Value	Construction Type	Building Fee	Electric Fee	Plumbing Fee	Mechanical Fee	Insulation Fee	Review Fee	Sign Fee	Light Fee	Fence Fee	SWCDW Fee	Amplifier Paid	EA Discount	Total Fee	Total Deposit
4476-082018	08/20/18	604 Gerard St	SR6	\$3,000.00	tear-off reroof	\$80.00										\$80.00		\$80.00	\$80.00
4487-082018	08/21/18	203 Kishwaukee St	CB	\$17,000.00	demo house	\$560.00										\$360.00		\$360.00	\$360.00
4492-082018	08/21/18	128 W Huribut	CB	\$20,000.00	demo house	\$405.00										\$405.00		\$405.00	\$405.00
4322-072018	08/21/18	4157 Hubbard Tr	SR4	\$2,500.00	windows	\$80.00										\$80.00		\$80.00	\$80.00
4493-082118	08/21/18	510 Glenwood Dr	SR6	\$4,800.00	roof	\$110.00										\$110.00		\$110.00	\$110.00
4494-082118	08/21/18	422 E 8th St	SR6	\$7,200.00	tear-off reroof	\$155.00										\$155.00		\$155.00	\$155.00
4495-082118	08/21/18	1012 Autumn Dr	MR8L	\$10,000.00	new WH	\$25.00	\$65.00				\$10.00					\$125.00		\$125.00	\$125.00
4498-082118	08/21/18	1943 N State St	GB	\$2,400.00	roof, stucco	\$175.00										\$175.00		\$175.00	\$175.00
4501-082118	08/21/18	312 Caswell St	SR6	\$6,600.00	siding	\$140.00										\$140.00		\$140.00	\$140.00
4499-082118	08/22/18	1510 13th Ave	SR6	\$5,400.00	tear-off reroof	\$125.00										\$125.00		\$125.00	\$125.00
4504-082218	08/22/18	115 W Lincoln Ave	CB	\$0.00	submittal	\$100.00										\$100.00		\$100.00	\$100.00
4514-082218	08/22/18	888 Belvidere Rd	PB	\$500.00	temp sign	\$25.00					\$60.00					\$110.00		\$110.00	\$110.00
4456-081518	08/23/18	1021 E 2nd St	SR6	\$2,000.00	finish deck	\$65.00										\$75.00		\$75.00	\$75.00
4491-082018	08/23/18	5029 Henslow Pkwy	SR4	\$99,700.00	SFH	\$725.00	\$306.00	\$260.00	\$162.00	\$65.00	\$38.00	\$10.00			\$85.00	\$1,646.00		\$1,646.00	\$1,646.00
4487-082118	08/23/18	505 S State St	CB	\$2,500.00	elect upgr	\$25.00	\$50.00									\$75.00		\$75.00	\$75.00
4517-082318	08/23/18	1008 S Main St	SR6	\$600.00	roof repair	\$65.00										\$65.00		\$65.00	\$65.00
4507-082218	08/23/18	1625 Cloverdale Way	SR4	\$6,900.00	tear-off reroof	\$140.00										\$140.00		\$140.00	\$140.00
4519-082318	08/23/18	932 Warren Ave	SR6	\$5,400.00	siding	\$125.00										\$125.00		\$125.00	\$125.00
4518-082318	08/23/18	422 W Pleasant	SR6	\$6,000.00	siding	\$125.00										\$125.00		\$125.00	\$125.00
4520-082418	08/24/18	401 Wedgewood Ln	SR6	\$7,200.00	tear-off reroof	\$155.00										\$305.00		\$305.00	\$305.00
4523-082418	08/24/18	406 Andrews Dr	SR6	\$17,100.00	tear-off reroof	\$125.00										\$125.00		\$125.00	\$125.00
4524-082418	08/24/18	928 10th Ave	SR6	\$5,100.00	tear-off reroof	\$125.00										\$125.00		\$125.00	\$125.00
4447-081418	08/24/18	622 S State St	CB	\$0.00	remodel bar	\$1,312.50	\$280.00	\$65.00	\$110.00	\$25.00	\$12.50					\$1,815.00		\$1,815.00	\$1,815.00
4522-082418	08/24/18	450 N Appleton Rd	SR6	\$2,999.00	fence	\$25.00					\$10.00			\$15.00		\$50.00		\$50.00	\$50.00
4525-082418	08/24/18	366 Andrews Dr	SR6	\$560.00	fence	\$25.00					\$10.00			\$15.00		\$50.00		\$50.00	\$50.00
4521-082418	08/24/18	1019 Indian Dancer	SR4	\$9,000.00	tear-off reroof	\$170.00										\$170.00		\$170.00	\$170.00
4526-082718	08/27/18	1325 9th Ave	SR6	\$3,300.00	tear-off reroof	\$95.00										\$95.00		\$95.00	\$95.00
4533-082718	08/27/18	803 E 2nd St	SR6	\$7,000.00	fire restoration	\$140.00	\$20.00			\$10.00						\$170.00		\$170.00	\$170.00
4535-082818	08/28/18	1209 Pawl St	SR6	\$5,000.00	sep sewer	\$25.00	\$65.00									\$90.00		\$90.00	\$90.00
4536-082818	08/28/18	1409 5th Ave	SR6	\$6,000.00	siding	\$155.00										\$155.00		\$155.00	\$155.00
4540-082818	08/28/18	1313 N State St	GB	\$0.00	submittal	\$100.00										\$100.00		\$100.00	\$100.00
4541-082818	08/28/18	1811 Wynwood	SR6	\$6,000.00	tear-off reroof	\$125.00										\$125.00		\$125.00	\$125.00
4542-082918	08/29/18	1347 Warren Ave	SR6	\$2,100.00	gtr roof	\$90.00										\$90.00		\$90.00	\$90.00

August 2018 Building Permits Report

Permit #	Date	Street #	dir	Street Name	Zone	Volume	Construction Type	Building Fee	Electric Fee	Plumbing Fee	HVAC Fee	Ins Fee	Review Fee	Sign Fee	Amount Paid	EX Division	Total Fee	Total Deposit
4373-073118	07/31/18	345		Channing	SR6	\$4,200.00	tear-off reroof	\$110.00							\$110.00		\$110.00	\$110.00
4374-073118	07/31/18	1021	E	2nd St	SR6	\$5,100.00	tear-off reroof	\$125.00							\$125.00		\$125.00	\$125.00
4375-073118	07/31/18	805	W	12th	SR6	\$1,700.00	fence	\$25.00						\$15.00	\$50.00		\$50.00	\$50.00
4319-071918	08/01/18	500	W	Chrysler	GB	\$145,000.00	remove ceiling	\$1,125.00							\$1,125.00	\$1,125.00	\$2,250.00	\$1,125.00
4341-072518	08/01/18	610		Bonus Ave	I	\$4,800.00	razz barn	\$180.00							\$180.00		\$180.00	\$180.00
4377-080118	08/01/18	1014	E	2nd St	SR6	\$1,600.00	fence	\$25.00					\$15.00		\$50.00		\$50.00	\$50.00
4376-080118	08/01/18	1632	S	State St	NO	\$15,000.00	tear-off reroof	\$295.00							\$295.00		\$295.00	\$295.00
4392-080318	08/03/18	2041		Sawyer Rd	SR6	\$3,800.00	fence	\$25.00					\$15.00		\$50.00		\$50.00	\$50.00
4394-080318	08/03/18	804	W	12th St	SR6	\$4,800.00	tear-off reroof	\$110.00							\$110.00		\$110.00	\$110.00
4389-080218	08/02/18	129		Kishwaukee St	SR6	\$15,478.00	sliding	\$275.00							\$275.00		\$275.00	\$275.00
4390-080218	08/02/18	1415		Union	SR6	\$8,100.00	sliding	\$170.00							\$170.00		\$170.00	\$170.00
4396-080318	08/03/18	240		Chrysler Dr	GB	\$240,000.00	remov restaurant	\$2,445.00	\$600.00	\$130.00	\$62.00	\$1,668.50			\$4,905.50		\$4,905.50	\$4,905.50
4393-080318	08/06/18	360		Elder Ln	MFRBL	\$6,600.00	gar roof	\$140.00							\$140.00		\$140.00	\$140.00
4397-080318	08/06/18	1604		Wells Way	SR4	\$80.00	2nd water meter	\$25.00							\$80.00		\$80.00	\$80.00
4399-080318	08/07/18	917		Johnson Ct	SR6	\$9,000.00	tear-off reroof	\$170.00							\$170.00		\$170.00	\$170.00
4400-080618	08/06/18	429		Allan St	SR6	\$4,000.00	demo gar	\$165.00							\$165.00		\$165.00	\$165.00
4412-080718	08/07/18	356		Andrews Dr	SR6	\$350.00	fence	\$25.00					\$10.00		\$50.00		\$50.00	\$50.00
4414-080718	08/07/18	1507		Her Ave	SR4	\$9,600.00	roof w/ no permit	\$370.00							\$370.00		\$370.00	\$370.00
4415-080718	08/07/18	1391		Pondview Dr	SR4	\$4,000.00	det deck	\$95.00							\$105.00		\$105.00	\$105.00
4416-080718	08/07/18	3024		Popple Dr	SR4	\$7,400.00	tear-off reroof	\$155.00					\$10.00		\$155.00		\$155.00	\$155.00
4417-080618	08/08/18	600		Calgary Way	SR4	\$1,200.00	front door	\$65.00							\$65.00		\$65.00	\$65.00
3626-022818	08/08/18	122		Buchanan	CB	\$60,000.00	int buildout	\$272.50	\$200.00	\$65.00	\$60.00	\$848.75			\$946.25	\$946.25	\$1,892.50	\$946.25
4418-080618	08/08/18	614		Florence Ct	NB	\$6,000.00	sig & renew P	\$125.00							\$125.00		\$125.00	\$125.00
4419-080618	08/08/18	1904		Southwick	SR4	\$1,807.00	deck & fence	\$65.00						\$15.00	\$80.00		\$80.00	\$80.00
4421-080618	08/08/18	609		Glenwood Dr	SR6	\$10,500.00	tear-off reroof	\$200.00							\$200.00		\$200.00	\$200.00
4395-080118	08/09/18	2312		Fairfield Tr	SR4	\$2,250.00	windows	\$80.00							\$80.00		\$80.00	\$80.00
4396-080118	08/09/18	615		Royal Ave	SR4	\$884.00	windows	\$65.00							\$65.00		\$65.00	\$65.00
4387-080118	08/09/18	844	E	Jackson St	GI	\$2,226.00	windows	\$80.00							\$80.00		\$80.00	\$80.00
4398-080118	08/09/18	525	E	Boone St	SR6	\$9,400.00	windows	\$170.00							\$170.00		\$170.00	\$170.00
4425-080318	08/09/18	1410		Willowbrook Ct	SR4	\$9,600.00	tear-off reroof	\$185.00							\$185.00		\$185.00	\$185.00
4427-080618	08/09/18	1319		Riverland Ln	SR4	\$9,762.00	windows	\$170.00							\$170.00		\$170.00	\$170.00
4428-080618	08/09/18	1330		Hazelwood Dr	SR4	\$4,800.00	tear-off reroof	\$110.00							\$110.00		\$110.00	\$110.00
4429-080618	08/09/18	1220	W	9th St	SR6	\$6,600.00	tear-off reroof	\$140.00							\$140.00		\$140.00	\$140.00

August 2018 Building Permits Report

Permit #	Date	Street	Blk	Street Name	Zone	Value	Construction Type	Building Fee	Electric Fee	Plumbing fee	HVAC Fee	INS Fee	Review Fee	Zoning Fee	Sign Fee	Fence Fee	Per	SW/20W	Amount Paid	Est. Discount	Total Fee	Total Deposit
4543-082919	08/29/18	2619	E	Farmington Ct	SR4	\$2,484.00	fence	\$25.00	\$25.00					\$10.00	\$15.00			\$15.00	\$50.00		\$50.00	\$50.00
4544-082919	08/29/18	214	N	Stree St	CB	\$1,000.00	sign	\$12.50						\$12.50	\$90.00				\$55.00	\$55.00	\$110.00	\$55.00
4545-082919	08/29/18	1423		11th Ave	SR6	\$8,400.00	tear-off reerof	\$170.00											\$170.00		\$170.00	\$170.00
4546-082919	08/29/18	408		Van Buren	SR6	\$2,000.00	windows	\$65.00											\$65.00		\$65.00	\$65.00
4547-083018	08/30/18	2921		Clinesford	SR4	\$13,500.00	tear-off reerof	\$245.00											\$245.00		\$245.00	\$245.00
4550-083018	08/30/18	1330	W	6th St	SR6	\$1,000.00	fence	\$25.00						\$10.00	\$15.00			\$15.00	\$50.00		\$50.00	\$50.00
4425-080818	08/31/18	600		Logan Ave	NB	\$52,700.00	fuel canopy	\$715.00	\$250.00					\$25.00					\$990.00		\$990.00	\$990.00
4549-083018	08/31/18	1021	E	2nd St	SR6	\$2,400.00	gar roof	\$80.00											\$80.00		\$80.00	\$80.00
4551-083118	08/31/18	1516		Union Ave	SR6	\$5,400.00	tear-off reerof	\$125.00											\$125.00		\$125.00	\$125.00
4552-083118	08/31/18	922		Van Buren	SR6	\$5,100.00	porch & HVAC w/o pmt	\$135.00	\$10.00			\$85.00		\$10.00					\$240.00		\$240.00	\$240.00
4553-083118	08/31/18	221		Logan Ave	NB	\$9,000.00	tear-off reerof	\$170.00											\$170.00		\$170.00	\$170.00
4555-083118	08/31/18	1415		Union Ave	SR6	\$3,500.00	porch & endose	\$95.00						\$10.00					\$105.00		\$105.00	\$105.00
								\$19,857.50	\$1,836.00	\$780.00	\$479.00	\$100.00	\$2,050.25	\$300.00	\$50.00	\$165.00	\$85.00	\$25,442.75	\$3,941.25	\$28,384.00	\$25,442.75	

Residential Permits August 2018

Permit #	Date	Address Dir	Street Name	PIN	ZONE	Value	Construction	BLDG	Electric	Plumbg	HVAC	INSL	Review	Zoning	Fence	SW&DW	Total Fee	Total Deposit
4397-080318	08/06/18	1604	Walts Way	05-25-228-005	SR4	\$80.00	2nd water meter	\$25.00	\$25.00								\$90.00	\$90.00
4414-080718	08/07/18	1507	Illes Ave	05-24-479-004	SR4	\$9,600.00	roof w/ no permit	\$370.00									\$370.00	\$370.00
4415-080718	08/07/18	1391	Pondview Dr	06-31-426-011	SR4	\$4,000.00	det deck	\$95.00						\$10.00			\$105.00	\$105.00
4416-080718	08/07/18	3024	Popple Dr	06-31-429-005	SR4	\$7,400.00	tear-off reroof	\$155.00									\$155.00	\$155.00
4417-080818	08/08/18	600	Calgary Way	06-30-353-004	SR4	\$1,200.00	front door	\$65.00									\$65.00	\$65.00
4419-080818	08/08/18	1904	Southwick	06-31-104-008	SR4	\$1,807.00	deck & fence	\$65.00						\$10.00	\$15.00		\$90.00	\$90.00
4385-080118	08/09/18	2312	Fairfield Tr	06-31-329-012	SR4	\$2,250.00	windows	\$80.00									\$80.00	\$80.00
4386-080118	08/09/18	615	Royal Ave	05-27-326-001	SR4	\$884.00	windows	\$65.00									\$65.00	\$65.00
4426-080818	08/09/18	1410	Willowbrook Ct	07-02-178-004	SR4	\$9,600.00	tear-off reroof	\$185.00									\$185.00	\$185.00
4427-080818	08/09/18	1319	Riverbend Ln	05-25-201-010	SR4	\$8,762.00	windows	\$170.00									\$170.00	\$170.00
4428-080818	08/09/18	1330	Hazelwood Dr	07-02-179-005	SR4	\$4,800.00	tear-off reroof	\$110.00									\$110.00	\$110.00
4431-080918	08/09/18	2210	Oakbrook Dr	07-02-127-023	SR4	\$9,000.00	tear-off reroof	\$170.00									\$170.00	\$170.00
4441-081318	08/13/18	2513	Ridgefield Dr	06-31-408-002	SR4	\$6,000.00	tear-off reroof	\$125.00									\$125.00	\$125.00
4440-081318	08/14/18	1901	Chamberlain St	06-30-356-001	SR4	\$2,897.00	window	\$80.00									\$80.00	\$80.00
4458-081518	08/15/18	2734	Mary St	05-27-378-004	SR4	\$4,000.00	pool	\$95.00						\$10.00			\$105.00	\$105.00
4453-081518	08/16/18	205	Bear Dusk Way	05-25-228-017	SR4	\$9,000.00	tear-off reroof	\$170.00									\$170.00	\$170.00
4457-081518	08/16/18	2812	Stonington Ct	06-31-453-016	SR4	\$6,000.00	tear-off reroof	\$125.00									\$125.00	\$125.00
4467-081718	08/17/18	1604	Walts Way	05-25-228-005	SR4	\$12,500.00	in-ground pool	\$215.00	\$30.00	\$65.00				\$10.00	\$15.00		\$335.00	\$335.00
4468-081718	08/17/18	2734	Mary St	05-27-378-004	SR4	\$250.00	elct for pool	\$25.00	\$30.00								\$55.00	\$55.00
4469-082018	08/20/18	2134	Derby	06-31-152-002	SR4	\$9,997.00	18 condo deck FO	\$185.00									\$185.00	\$185.00
4471-082018	08/20/18	2301	Hubbard Tr	06-31-329-001	SR4	\$5,400.00	tear-off reroof	\$125.00									\$125.00	\$125.00
4322-072018	08/21/18	4157	Hubbard Tr	05-28-377-006	SR4	\$2,500.00	windows	\$80.00									\$80.00	\$80.00
4491-082018	08/23/18	5029	Henslow Pkwy	05-29-202-010	SR4	\$99,700.00	SFH	\$725.00	\$306.00	\$260.00	\$162.00	\$65.00	\$33.00	\$10.00	\$85.00		\$1,646.00	\$1,646.00
4507-082218	08/23/18	1625	Cloverdale Way	06-31-378-016	SR4	\$6,900.00	tear-off reroof	\$140.00									\$140.00	\$140.00
4521-082418	08/24/18	1019	Indian Dancer	05-24-426-001	SR4	\$9,000.00	tear-off reroof	\$170.00									\$170.00	\$170.00
4543-082918	08/29/18	2619	Farmington Ct	06-31-404-012	SR4	\$2,484.00	fence	\$25.00						\$10.00	\$15.00		\$50.00	\$50.00
4547-083018	08/30/18	2921	Clinesford	05-27-301-001	SR4	\$13,500.00	tear-off reroof	\$245.00									\$245.00	\$245.00
4373-073118	07/31/18	345	Channing	05-25-481-023	SR6	\$4,200.00	tear-off reroof	\$110.00									\$110.00	\$110.00
4374-073118	07/31/18	1021	2nd St	05-36-254-005	SR6	\$5,100.00	tear-off reroof	\$125.00									\$125.00	\$125.00
4375-073118	07/31/18	805	12th	05-35-451-028	SR6	\$1,700.00	fence	\$25.00						\$10.00	\$15.00		\$50.00	\$50.00
4377-080118	08/01/18	1014	2nd St	05-36-206-037	SR6	\$1,600.00	fence	\$25.00						\$10.00	\$15.00		\$50.00	\$50.00
4389-080218	08/02/18	129	Kishwaukee St	05-26-433-009	SR6	\$15,478.00	sidling	\$275.00									\$275.00	\$275.00
4390-080218	08/02/18	1415	Union	05-35-433-009	SR6	\$8,100.00	sidling	\$170.00									\$170.00	\$170.00
4392-080318	08/03/18	2041	Sawyer Rd	05-22-253-002	SR6	\$3,800.00	fence	\$25.00						\$10.00	\$15.00		\$50.00	\$50.00
4394-080318	08/03/18	804	12th St	05-35-453-005	SR6	\$4,800.00	tear-off reroof	\$110.00									\$110.00	\$110.00
4400-080618	08/06/18	429	Allen St	05-35-231-036	SR6	\$4,000.00	demo gar	\$165.00									\$165.00	\$165.00
4399-080318	08/07/18	917	Johnson Ct	05-36-261-014	SR6	\$9,000.00	tear-off reroof	\$170.00									\$170.00	\$170.00
4412-080718	08/07/18	356	Andrews Dr	05-25-479-006	SR6	\$350.00	fence	\$25.00						\$10.00	\$15.00		\$50.00	\$50.00
4421-080818	08/08/18	609	Glenwood Dr	05-36-378-011	SR6	\$10,500.00	tear-off reroof	\$200.00									\$200.00	\$200.00
4388-080118	08/09/18	525	Boone St	05-26-279-005	SR6	\$8,400.00	windows	\$170.00									\$170.00	\$170.00
4429-080818	08/09/18	1220	9th St	05-35-377-037	SR6	\$6,600.00	tear-off reroof	\$140.00									\$140.00	\$140.00
4433-081018	08/10/18	1348	Warren Ave	05-36-328-009	SR6	\$2,700.00	sidling	\$80.00									\$80.00	\$80.00
4437-081018	08/10/18	409	Streamwood Ln	05-27-203-008	SR6	\$6,000.00	tear-off reroof	\$125.00									\$125.00	\$125.00
4438-081018	08/13/18	2132	Northwood Dr	05-22-452-003	SR6	\$6,000.00	tear-off reroof	\$125.00									\$125.00	\$125.00
4439-081018	08/13/18	2126	Northwood Dr	05-22-452-006	SR6	\$6,300.00	tear-off reroof	\$140.00									\$140.00	\$140.00

Residential Permits August 2018

Permit #	Date	Address Dir	Street Name	PIN	ZONE	Value	Construction	BLDG	Electric	Plumbg	HVAC	INSL	Review	Zoning	Fence	SW&DW	Total Fee	Total Deposit
4442-081318	08/13/18	907	Pearl St	05-35-232-046	SR6	\$1,200.00	porch repair	\$65.00						\$10.00			\$75.00	\$75.00
4443-081318	08/13/18	728	Union	05-35-232-063	SR6	\$7,000.00	windows	\$140.00									\$140.00	\$140.00
4444-081318	08/13/18	1205	Garfield Ave	05-36-155-014	SR6	\$1,800.00	gar roof	\$65.00									\$65.00	\$65.00
4432-080918	08/14/18	801	E Madison St	05-25-153-004	SR6	\$4,800.00	fence	\$25.00						\$10.00	\$15.00		\$50.00	\$50.00
4454-081518	08/15/18	906	W 9th St	05-35-451-030	SR6	\$5,000.00	2 doors	\$110.00									\$110.00	\$110.00
4459-081518	08/15/18	309	E Locust St	05-25-356-016	SR6	\$4,000.00	fire demo house	\$165.00									\$165.00	\$165.00
4464-081718	08/17/18	1205	W 5th St	05-35-181-003	SR6	\$2,700.00	tear-off reroof	\$80.00									\$80.00	\$80.00
4465-081718	08/17/18	1203	S Main St	05-36-158-016	SR6	\$4,200.00	tear-off reroof	\$110.00									\$110.00	\$110.00
4466-081718	08/17/18	1103	S Main St	05-36-158-012	SR6	\$6,600.00	tear-off reroof	\$140.00									\$140.00	\$140.00
4434-081018	08/20/18	306	Andrews Dr	05-25-479-001	SR6	\$16,740.00	windows	\$290.00									\$290.00	\$290.00
4435-081018	08/20/18	206	Fairview St	05-25-131-011	SR6	\$4,230.00	windows	\$110.00									\$110.00	\$110.00
4436-081018	08/20/18	819	Grover St	05-25-458-007	SR6	\$1,334.00	windows	\$65.00									\$65.00	\$65.00
4445-081318	08/20/18	805	W 12th St	05-35-451-028	SR6	\$1,000.00	pergola	\$65.00						\$10.00			\$75.00	\$75.00
4476-082018	08/20/18	604	Gardner St	05-25-102-019	SR6	\$3,000.00	tear-off reroof	\$80.00									\$80.00	\$80.00
4493-082118	08/21/18	510	Glenwood Dr	05-36-377-021	SR6	\$4,800.00	reroof	\$110.00									\$110.00	\$110.00
4494-082118	08/21/18	422	8th St	05-36-326-018	SR6	\$7,200.00	tear-off reroof	\$155.00									\$155.00	\$155.00
4501-082118	08/21/18	312	Caswell St	05-25-907-006	SR6	\$6,600.00	siding	\$140.00									\$140.00	\$140.00
4499-082118	08/22/18	1510	13th Ave	05-35-331-010	SR6	\$5,400.00	siding	\$125.00									\$125.00	\$125.00
4456-081518	08/23/18	1021	E 2nd St	05-36-254-005	SR6	\$2,000.00	finish deck	\$65.00									\$65.00	\$65.00
4517-082318	08/23/18	1008	S Main St	05-36-176-007	SR6	\$600.00	roof repair	\$65.00									\$65.00	\$65.00
4519-082318	08/23/18	932	Pleasant	05-35-231-002	SR6	\$6,000.00	siding	\$125.00									\$125.00	\$125.00
4520-082418	08/24/18	401	Warren Ave	05-36-179-007	SR6	\$5,400.00	siding	\$125.00									\$125.00	\$125.00
4522-082418	08/24/18	450	Wedgewood Ln	05-27-226-016	SR6	\$7,200.00	tear-off reroof	\$155.00							\$15.00		\$155.00	\$155.00
4523-082418	08/24/18	406	Appleton Rd	05-26-101-006	SR6	\$2,999.00	fence	\$25.00									\$50.00	\$50.00
4524-082418	08/24/18	928	Andrews Dr	05-25-482-001	SR6	\$17,100.00	tear-off reroof	\$305.00									\$305.00	\$305.00
4525-082418	08/24/18	366	10th Ave	05-35-131-004	SR6	\$5,100.00	tear-off reroof	\$125.00									\$125.00	\$125.00
4526-082718	08/27/18	1325	Andrews Dr	05-25-479-007	SR6	\$560.00	fence	\$25.00									\$25.00	\$25.00
4533-082718	08/27/18	803	9th Ave	05-35-329-017	SR6	\$3,300.00	tear-off reroof	\$95.00									\$95.00	\$95.00
4535-082818	08/28/18	1209	2nd St	05-36-208-001	SR6	\$7,000.00	fire restoration	\$140.00	\$20.00			\$10.00					\$170.00	\$170.00
4536-082818	08/28/18	1409	Pearl St	05-35-283-021	SR6	\$5,000.00	sep sewer	\$25.00		\$65.00							\$90.00	\$90.00
4541-082818	08/28/18	1811	5th Ave	05-36-407-021	SR6	\$8,000.00	siding	\$155.00									\$155.00	\$155.00
4542-082918	08/29/18	1347	Wynnwood	05-27-226-010	SR6	\$6,000.00	tear-off reroof	\$125.00									\$125.00	\$125.00
4545-082918	08/29/18	1423	Warren Ave	05-36-327-016	SR6	\$2,100.00	gar roof	\$80.00									\$80.00	\$80.00
4546-082918	08/29/18	408	11th Ave	05-35-327-008	SR6	\$8,400.00	tear-off reroof	\$170.00									\$170.00	\$170.00
4550-083018	08/30/18	1330	Van Buren	05-26-281-006	SR6	\$2,000.00	windows	\$65.00									\$65.00	\$65.00
4549-083018	08/30/18	1021	6th St	05-35-305-001	SR6	\$1,000.00	fence	\$25.00									\$25.00	\$25.00
4551-083118	08/31/18	1516	2nd St	05-36-254-005	SR6	\$2,400.00	gar roof	\$80.00									\$80.00	\$80.00
4552-083118	08/31/18	922	Union Ave	05-35-437-003	SR6	\$5,400.00	tear-off reroof	\$125.00									\$125.00	\$125.00
4555-083118	08/31/18	1415	Van Buren	05-26-210-005	SR6	\$5,100.00	porch & HVAC w/o pmt	\$135.00			\$85.00						\$240.00	\$240.00
			Union Ave	05-35-433-009	SR6	\$3,500.00	porch & enclose	\$95.00									\$105.00	\$105.00
						\$547,902.00		\$10,660.00	\$396.00	\$455.00	\$247.00	\$75.00	\$33.00	\$190.00	\$165.00	\$85.00	\$12,306.00	\$12,306.00

Single Family Home Report August 2018

Permit #	Date	Address	Dir	Street Name	ZONE	Value	Construction	BLDG	Electric	Plumbg	HVAC	INSL	Review	Zoning	Fence	SIW&DW	Total Fee	Total Deposit
4491-082018	08/23/18	5029		Henslow Pkwy	SR4	\$99,700.00	SFH	\$725.00	\$306.00	\$260.00	\$162.00	\$65.00	\$33.00	\$10.00		\$85.00	\$1,646.00	\$1,646.00
						\$99,700.00		\$725.00	\$306.00	\$260.00	\$162.00	\$65.00	\$33.00	\$10.00	\$0.00	\$85.00	\$1,646.00	\$1,646.00

Commercial Permits August 2018

Permit	Date	#	Dir	Street Name	Zone	Value	Construction	Building	Electric	Plumbing	HVAC	INSL	Review	Zong	Sign	Fence SW&DW	Paid	EZ Discount	Total Fee	Total Dep												
3626-022818	8/8/18	122		Buchanan	CB	\$60,000.00	int buildout	\$272.50	\$200.00	\$65.00	\$60.00		\$348.75				\$946.25	\$946.25	\$1,892.50	\$946.25												
4446-081418	8/14/18	112	W	Pleasant St	CB	\$900.00	elect outlet	\$25.00	\$25.00								\$50.00		\$50.00	\$50.00												
4487-082018	8/21/18	203		Kishwaukee St	CB	\$17,000.00	demo house	\$360.00									\$360.00		\$360.00	\$360.00												
4492-082018	8/21/18	128	W	Hurlbut	CB	\$20,000.00	demo house	\$405.00									\$405.00		\$405.00	\$405.00												
4504-082218	8/22/18	115	W	Lincoln Ave	CB	\$0.00	submittal	\$100.00									\$100.00		\$100.00	\$100.00												
4497-082118	8/23/18	505	S	State St	CB	\$2,500.00	elect upgr	\$25.00	\$50.00								\$75.00		\$75.00	\$75.00												
4447-081418	8/24/18	622	S	State St	CB	\$0.00	remodel bar	\$1,312.50	\$290.00	\$65.00	\$110.00	\$25.00		\$12.50			\$1,815.00	\$1,815.00	\$3,630.00	\$1,815.00												
4544-082919	8/29/18	214	N	State St	CB	\$1,000.00	sign	\$12.50						\$12.50	\$30.00		\$55.00	\$55.00	\$110.00	\$55.00												
4319-071918	8/1/18	500	W	Chrysler	GB	\$143,000.00	remove ceiling	\$1,125.00									\$1,125.00	\$1,125.00	\$2,250.00	\$1,125.00												
4396-080318	8/3/18	240		Chrysler Dr	GB	\$240,000.00	renov restaurant	\$2,445.00	\$600.00	\$130.00	\$62.00		\$1,668.50				\$4,905.50		\$4,905.50	\$4,905.50												
4461-081618	8/16/18	1105	N	State St	GB	\$0.00	submittal	\$100.00									\$100.00		\$100.00	\$100.00												
4498-082118	8/16/18	1119	N	State St	GB	\$0.00	submittal	\$100.00									\$100.00		\$100.00	\$100.00												
4498-082118	8/21/18	1943	N	State St	GB	\$2,400.00	roof, stucco	\$175.00									\$175.00		\$175.00	\$175.00												
4540-082818	8/28/18	1313	N	State St	GB	\$0.00	submittal	\$100.00									\$100.00		\$100.00	\$100.00												
4387-080118	8/9/18	844	E	Jackson St	GI	\$2,226.00	windows	\$80.00									\$80.00		\$80.00	\$80.00												
4341-072518	8/1/18	610		Bonus Ave	I	\$4,800.00	raze barn	\$180.00									\$180.00		\$180.00	\$180.00												
4393-080318	8/6/18	360		Elder Ln	MR8L	\$6,600.00	gar roof	\$140.00									\$140.00		\$140.00	\$140.00												
4452-081518	8/15/18	2186		Blossom Ln	MR8L	\$1,800.00	gar roof	\$65.00									\$65.00		\$65.00	\$65.00												
4470-082018	8/20/18	204		Fox Ln	MR8L	\$2,000.00	gar roof	\$65.00									\$65.00		\$65.00	\$65.00												
4495-082118	8/21/18	1012		Autumn Dr	MR8L	\$10,000.00	new MH	\$25.00	\$25.00	\$65.00				\$10.00			\$125.00		\$125.00	\$125.00												
4418-080818	8/8/18	614		Florence Ct	NB	\$6,000.00	sidg & renew p	\$175.00									\$175.00		\$175.00	\$175.00												
4425-080818	8/31/18	600		Logan Ave	NB	\$52,700.00	fuel canopy	\$715.00	\$250.00					\$25.00			\$990.00		\$990.00	\$990.00												
4553-083118	8/31/18	221		Logan Ave	NB	\$9,000.00	tear-off reroof	\$170.00									\$170.00		\$170.00	\$170.00												
4376-080118	8/1/18	1632	S	State St	NO	\$15,000.00	tear-off reroof	\$295.00									\$295.00		\$295.00	\$295.00												
4514-082218	8/22/18	888		Belvidere Rd	PB	\$500.00	temp sign	\$25.00						\$25.00	\$60.00		\$110.00		\$110.00	\$110.00												
4184-062018	8/14/18	725		Logistics Dr	PI	\$25,676.00	smokg shelter	\$405.00						\$25.00			\$430.00		\$430.00	\$430.00												
																			\$8,897.50	\$1,440.00	\$325.00	\$232.00	\$25.00	\$2,017.25	\$110.00	\$90.00	\$0.00	\$0.00	\$13,136.75	\$3,941.25	\$17,078.00	\$13,136.75

Enterprise Zone Discount Report August 2018

Permit #	Date	NO	DIR	STREET	ZONE	Value	Construction	Building	Electric	Plumbing	HVAC	INSL	REVV	Zong	Sign	Fence	SW&DW	Paid	EZ Discount	Total Fee	Total Dep
3626-022818	8/8/18	122		Buchanan	CB	\$60,000.00	int. buildout	\$272.50	\$200.00	\$65.00	\$60.00		\$348.75					\$946.25	\$946.25	\$1,892.50	\$946.25
4447-081418	08/24/18	622	S	State St.	CB	\$0.00	remodel bar	\$1,312.50	\$290.00	\$65.00	\$110.00	\$25.00		\$12.50				\$1,815.00	\$1,815.00	\$3,630.00	\$1,815.00
4544-082918	08/29/18	214	N	State St.	CB	\$1,000.00	sign	\$12.50						\$12.50	\$30.00			\$55.00	\$55.00	\$110.00	\$55.00
4319-071918	08/01/18	500	W	Chrysler	GB	\$143,000.00	remove ceiling	\$1,125.00										\$1,125.00	\$1,125.00	\$2,250.00	\$1,125.00
						\$204,000.00		\$2,722.50	\$490.00	\$130.00	\$170.00	\$25.00	\$348.75	\$25.00	\$30.00	\$0.00	\$0.00	\$3,941.25	\$3,941.25	\$7,882.50	\$3,941.25

BELVIDERE

Community Development Department

Planning Department

401 Whitney Boulevard, Suite 300, Belvidere, Illinois, 61008 (815) 547-7177 FAX (815) 547-0789

August 2018 Monthly Report

Number	Project	Description	Processed
	Belvidere Projects		
9	Cases: August	TerraNavigator, TA (solar panels)	06/21/2018
		TerraNavigator, SU, 825 N. Appleton Rd	06/21/2018
		Kelly Williamson, SU, 1776 Logan Avenue	07/02/2018
		Hernandez, SU, 522 South State Street	07/09/2018
		D Bar S Enterprises, SU, 925 Logan Avenue	07/10/2018
		D Bar S Enterprises, VAR, 925 Logan Avenue	07/10/2018
		Busch, SU, Shaw Mills/Glenmoor of River Run	07/10/2018
		Noble, TA (residential in Central Business)	07/10/2018
		Noble, SU, 519 South Main Street	07/10/2018
4	Cases: September	Belvidere, TA (small wireless facility)	08/03/2018
		Becknell Services, SU, 675 Corporate Pkwy	08/03/2018
		Pease, RP, Sager Corporate Park	08/17/2018
		State Street Gaming, Inc., SU, 2195 N. State Street	08/20/2018
0	Annexation		
0	Temporary Uses	None	
14	Site Plans (New/Revised)	622 S. State Street, Coach's Corner	08/03/2018
		675 Corporate Pkwy, Magna Ramp	08/07/2018
		725 Landmark drive, Brose Shelter	08/09/2018
		600 Logan Avenue, Zmart Canopy	08/09/2018
		622 S. State Street, Coach's Corner	08/13/2018
		622 S. State Street, Coach's Corner	08/15/2018
		675 Corporate Pkwy, Magna Storage	08/15/2018
		1105 N. State Street, My Gaming	08/17/2018
		1119 N. State Street, One Stop Shop	08/17/2018
		1021 N. State Street, Aldi	08/20/2018
		675 Corporate Parkway, Magna Racks	08/21/2018
		115 W. Lincoln Avenue, Burch Dental	08/22/2018
		600 Logan Avenue, Zmart Canopy	08/28/2018
		1313 N. State Street, McDonal'ds	08/29/2018
1	Final Inspection	1625 S. State Street, SAMC	08/07/2018
2	Downtown Overlay Review	214 N. State Street, Signs	08/01/2018
		130 S. State Street, Garbage Enclosure	08/09/2018
5	Prepared Zoning Verification Letters	3575 Morreim Drive	08/08/2018
		2109-2111 Tobyne Drive	08/22/2018
		2113-2115 Tobyne Drive	08/22/2018

Planning Monthly Report Cont.

	2114-2116 Tobyne Drive	08/22/2018
	803 Fremont Street	08/29/2018
0 Issued Address Letters	None	
Belvidere Historic Preservation Commission	The Commission discussed future fundraisers. The Commission held a public hearing for local landmark status for 527 Pearl Street and discussed potential landmarking status for two other buildings (1 has submitted an application for September). Reimbursement for an approved 2018 Property Maintenance Grant recipient was approved. The Commission agreed to move forward with participating in the Historic US Route 20 Association.	
Heritage Days	None	
Hometown Christmas	Staff continued to meet with members of the Hometown Christmas committee, update social media and reached out to community members	

Poplar Grove Projects

2	Cases: August	Poplar Grove Solar, TA (solar panels)	07/26/2018
		Poplar Grove Solar, SU, 4324 IL Route 173	07/26/2018
1	Cases: September	Poplar Grove Solar, SU, 4324 IL Route 173	07/26/2018
0	Issued Address Letters	None	
0	Prepared Zoning Verification Letters	None	

Scanned Plats: E-mail, Print and/or Burn

14	Recorder's Office	None
0	Other Department	None
0	General Public	None

Census None

Planning Department Current Duties

Close out completed planning case files

Respond to all FOIA requests

Work with 911, Fire Department and Post Office to verify all addresses in the City

Assist Growth Dimensions with requested data

Meetings and phone calls with developers regarding potential development

Phone calls/walk-ins for questions regarding zoning, floodplain, development, etc.

Prepare minutes, agendas and packets for various committees, commissions, boards

Prepare deposits and purchase orders for bill payments

Continue meeting with RMAP regarding planning activities

***Participated in the City Hall booth at the Boone County Fair

*** Staff met and will be working with FFA students regarding urban chickens

MONTHLY TREASURER'S REPORT

Activity for the month of: August 2018

FUND	FUND #	Beginning Cash Balance	Receipts (Cash In)	Expenditures (Cash Out)	Month's Due to or Due From Activity	Ending Cash Balance	Outstanding Interfund Loans + Borrowings -	Ending Fund Balance
General	01	11,065,722.14	2,627,969.03	1,270,244.20		12,423,446.97	29,102.65	12,452,549.62
Forestry	01	(314,056.21)	14,741.50	13,726.00		(313,040.71)		(313,040.71)
Landfill	01	(4,206.91)	18,418.18	25,000.00		(10,788.73)		(10,788.73)
I M R F / Soc Sec	01	(148,514.90)	112,556.47	40,324.73		(76,283.16)		(76,283.16)
Community Dev Fund	01	(925,106.56)	30,274.04	40,160.57		(934,993.09)		(934,993.09)
Liability Insurance	01	(1,111,414.90)	110,494.37	0.00		(1,000,920.53)		(1,000,920.53)
General Fund	01	8,562,422.66	2,914,453.59	1,389,455.50	0.00	10,087,420.75	29,102.65	10,116,523.40
Motor Fuel Tax	10	180,725.74	58,357.53	123,422.11		115,661.16		115,661.16
Kishwaukee TIF	13	32,198.91	7,204.34	0.00		39,403.25	(55,710.13)	(16,306.88)
Kishwaukee 2 TIF	15	4,914.77	0.00	0.00		4,914.77		4,914.77
Special Service Area 2	16	7,530.78	7,030.01	2,335.61		12,225.18		12,225.18
Special Service Area 3	17	2,669.68	2,872.54	2,556.03		2,986.19		2,986.19
Capital Projects - general								
Utility Tax Fund	41	0.00	0.00	0.00		0.00		0.00
Public Improvement	41	(32,750.59)	14,746.72	0.00		(18,003.87)		(18,003.87)
Capital Fund (752)	41	771,014.99	299,963.07	0.00		1,070,978.06		1,070,978.06
State Street Bridge	41	56,117.81	0.00	0.00		56,117.81		56,117.81
Capital Projects	41	794,382.21	314,709.79	0.00	0.00	1,109,092.00	0.00	1,109,092.00
W/S General Admin	61	75,633.08	0.00	0.00		75,633.08		75,633.08
Water - operations	61	614,025.94	149,911.38	175,918.97	(15,594.56)	572,423.79		572,423.79
W / S - bond proceeds	61	0.00	0.00	0.00		0.00		0.00
W / S - bond payments	61	118,799.65	16,375.44	0.00		135,175.09		135,175.09
W / S - bond reserves	61	593,578.95	447.12	0.00		594,026.07		594,026.07
Sewer - operations	61	999,309.04	373,913.84	216,555.52	(15,594.56)	1,141,072.80		1,141,072.80
W/S Cap Imprv (Depr) 04-09	61	1,036,016.59	27,404.45	20,958.48		1,042,462.56		1,042,462.56
W/S Connection/Agr Fees 05-10	61	2,690,156.63	10,642.19	2,000.00		2,698,798.82		2,698,798.82
Sewer Plant Equip Repl 06-08	61	1,491,206.44	42,915.13	237,234.49		1,296,887.08		1,296,887.08
Water / Sewer Fund	61	7,618,726.32	621,609.55	652,667.46	(31,189.12)	7,556,479.29	0.00	7,556,479.29
Escrow	91	547,325.58	7,278.52	74,838.00		479,766.10		479,766.10
TOTAL		17,750,896.65	3,933,515.87	2,245,274.71	(31,189.12)	19,407,948.69	26,607.48	19,381,341.21

FUND	FUND #	Checking	Money Market	C D 's	Trust Acct	Ending Cash Balance	Due From + Due To - Other Funds	Ending Fund Balance
General Fund	01	485,097.98	3,022,183.54	6,580,139.23		10,087,420.75	29,102.65	10,116,523.40
Motor Fuel Tax	10	32,784.53	82,876.63			115,661.16		115,661.16
Kishwaukee TIF	13	39,403.25	0.00			39,403.25	(55,710.13)	(16,306.88)
Kishwaukee 2 TIF	15	4,914.77	0.00			4,914.77		4,914.77
Sp Srv Areas #2-Farmington	16	12,225.18	0.00			12,225.18		12,225.18
Sp Srv Areas #3-Farmington	17	2,986.19	0.00			2,986.19		2,986.19
Capital Projects	41	317,811.57	288,027.07	503,253.36		1,109,092.00		1,109,092.00
Water / Sewer Fund	61	627,355.88	805,639.46	6,123,483.95		7,556,479.29		7,556,479.29
Escrow	91	110,132.55	369,633.55	0.00		479,766.10		479,766.10
TOTAL		1,632,711.90	4,568,360.25	13,206,876.54	0.00	19,407,948.69	(26,607.48)	19,381,341.21

Fire Department - 2% Fund	19	14,593.83	15,349.22			29,943.05		29,943.05
Seized Vehicles		5,616.98				5,616.98		5,616.98
Drug Operations		69,230.69				69,230.69		69,230.69
State Asset Forfeiture		50,875.30				50,875.30		50,875.30
Federal Forfeiture		67,302.04				67,302.04		67,302.04
Auction		59,867.19				59,867.19		59,867.19
Metro Narcotics		6,398.56				6,398.56		6,398.56
Metro Narcotics OAF		749.00				749.00		749.00
Belvidere OAF		553.50				553.50		553.50
TOTAL POLICE FUNDS as of July 2018		260,593.26				260,593.26		260,593.26

INCOME STATEMENT FOR THE GENERAL FUND

				Through	August	2018	
	Account #	Actual FY 17	Actual FY 18	Month of August	YTD Actual for FY 19	Budget FY 19	33% of budget
General Administration							
RE Property Tax	01-4-110-4010	1,843,251.00	1,759,868.97	651,631.42	1,366,195.08	1,769,385	77%
Hotel / Motel Tax	01-4-110-4011	2,748.68	2,579.99	1,174.53	1,233.48	3,356	37%
Auto Rental Tax	01-4-110-4012	6,418.98	6,794.30	578.33	2,119.30	6,480	33%
Muni Infrastructure Maint	01-4-110-4013	150,224.37	131,450.51	0.00	29,368.09	142,800	21%
State Income Tax	01-4-110-4100	2,436,019.36	2,710,100.59	160,891.42	893,073.05	2,451,043	36%
Muni Sales Tax	01-4-110-4110	3,310,595.26	3,427,287.63	318,879.42	1,195,253.28	3,471,350	34%
Sales Tax to Developer	01-4-110-4111	0.00	0.00	0.00	0.00	0	0%
Local Use Tax	01-4-110-4112	625,105.54	663,704.70	57,601.96	221,071.83	672,885	33%
Replacement Tax	01-4-110-4120	534,532.21	433,270.17	7,523.15	177,489.58	505,727	35%
Repl Tax Dist to Pensions	01-4-110-4121	(264,958.00)	(260,246.00)	0.00	0.00	(268,051)	0%
State Grants	01-4-110-4150	0.00	0.00	0.00	0.00	0	0%
Grants (NDevelopment)	01-4-110-4151	0.00	0.00	0.00	0.00	0	0%
Business License	01-4-110-4200	15,870.00	15,340.00	340.00	10,915.00	17,850	61%
Liquor License & Fines	01-4-110-4210	104,050.00	157,450.00	11,750.00	119,200.00	114,700	104%
Amusement Machine	01-4-110-4230	8,400.00	9,800.00	2,500.00	50,800.00	10,300	493%
Court Fines	01-4-110-4400	269,744.37	326,213.98	35,074.54	140,746.01	313,271	45%
Parking Fines	01-4-110-4410	5,743.12	12,731.00	2,362.00	4,554.00	5,975	76%
Seized Vehicle Fee	01-4-110-4420	57,900.00	90,450.00	5,100.00	26,100.00	79,200	33%
Engr Fees-Subdivision	01-4-110-4430	14,005.00	0.00	0.00	0.00	20,000	0%
Video Gambling	01-4-110-4440	229,469.55	279,016.24	29,599.68	119,221.24	273,600	44%
Franchise Fees	01-4-110-4450	270,606.66	279,541.15	68,948.47	138,218.25	282,795	49%
Comcast Fees	01-4-110-4455	19,662.65	2,160.90	0.00	0.00	0	0%
Death/Birth Certificates	01-4-110-4460	20,255.00	18,818.00	317.48	7,808.00	18,379	42%
Accident/Fire Reports	01-4-110-4470	4,258.85	6,060.00	335.00	2,614.00	5,370	49%
Annexation/Plat Fees	01-4-110-4471	0.00	0.00	0.00	0.00	20,000	0%
Tipping Fees	01-4-110-4472	66,634.64	83,373.68	9,263.35	28,536.16	84,500	34%
Fuel Charges (outside vendors)	01-4-110-4550	0.00	211,852.37	19,734.81	75,781.84	245,876	31%
Interest Income	01-4-110-4600	39,813.97	55,202.89	2,498.91	6,515.46	74,750	9%
Misc Revenues	01-4-110-4900	26,134.26	13,512.51	350.00	6,856.38	26,700	26%
Heritage Days	01-4-110-4901	53,386.00	88,700.24	150.00	77,538.02	0	0%
Historic Pres. Fund Raising	01-4-110-4902	160.00	8,115.00	40.00	537.07	0	0%
Historic Pres. Grant Reimb.	01-4-110-4903	9,052.56	0.00	0.00	16,288.89	0	0%
Operating Transfer in (Reserve)	01-4-110-9998	1,026,870.07	22,510.55	0.00	0.00	676,844	0%
Total General Administration Revenues		10,885,954.10	10,555,659.37	1,386,644.47	4,718,034.01	11,025,085	43%
Salaries - Elected Officials	01-5-110-5000	207,623.48	213,878.30	16,958.58	73,354.01	214,542	34%
Salaries - Regular - FT	01-5-110-5010	221,324.13	226,430.75	22,214.12	98,753.48	230,962	43%
Group Health Insurance	01-5-110-5130	469,397.37	454,004.09	38,274.99	158,760.96	518,757	31%
Health Ins Claims Pd (Dental)	01-5-110-5131	28,915.36	29,787.65	1,157.39	7,721.19	35,000	22%
Group Life Insurance	01-5-110-5132	1,336.50	1,379.70	114.75	464.40	1,450	32%
Health Insurance Reimb.	01-4-110-4540	(153,131.82)	(156,965.81)	(13,016.77)	(49,175.14)	(160,588)	31%
Unemployment Compensation	01-5-110-5136	0.00	0.00	0.00	0.00	0	0%
Meeting & Conferences	01-5-110-5154	11,208.73	13,284.76	992.65	2,745.59	14,850	18%
Subscriptions/Ed Materials	01-5-110-5156	552.90	431.61	0.00	136.80	650	21%
Gen Admin Personnel & Benefit Expenses		787,226.65	782,231.05	66,695.71	292,761.29	855,623	34%
Repairs/Maint - Bldgs	01-5-110-6010	34,784.35	19,803.99	1,026.67	8,190.67	24,200	34%
Repairs/Maint - Equip	01-5-110-6020	3,424.32	3,925.16	309.18	965.89	5,000	19%
Legal	01-5-110-6110	7,450.91	6,082.96	433.41	2,301.10	22,000	10%
Other Professional Services	01-5-110-6190	0.00	2,169.40	7.24	14.48	5,000	0%
Grant Expenses (NDev)	01-5-110-6191	0.00	0.00	0.00	0.00	0	0%
Telephone	01-5-110-6200	20,424.85	21,934.88	1,041.38	5,803.03	21,630	27%
Codification	01-5-110-6225	8,442.83	5,231.40	0.00	0.00	2,000	0%
Other Communications	01-5-110-6290	4,037.44	2,805.52	224.07	839.52	3,330	25%
Gen Admin Contractual Expenses		78,564.70	61,953.31	3,041.95	18,114.69	83,160	22%

General Administration (cont)	Account #	Actual FY 17	Actual FY 17	Month of August	YTD Actual for FY 19	Budget FY 19	33% of budget
Office Supplies	01-5-110-7020	39,061.21	45,067.99	4,767.38	10,378.49	56,500	18%
Gas and Oil	01-5-110-7030	0.00	0.00	18,282.21	24,580.89	170,000	14%
Other Supplies	01-5-110-7800	5,417.00	5,281.54	669.27	1,548.10	6,800	23%
Gen Admin Supplies Expenses		44,478.21	50,349.53	23,718.86	36,507.48	233,300	16%
Miscellaneous Expense	01-5-110-7900	72,206.98	83,627.17	5,148.50	22,612.16	79,930	28%
Reimb of Seized Vehicle Fee	01-5-110-7901	1,207.50	600.00	0.00	300.00	0	0%
Heritage Days	01-5-110-7902	56,780.67	74,996.12	5,218.41	91,599.44	0	0%
Comcast Charges	01-5-110-7903	0.00	0.00	0.00	0.00	0	0%
Historic Preservation	01-5-110-7904	0.00	0.00	0.00	0.00	0	0%
Operating Transfers Out	01-5-110-9999	536,965.18	383,828.00	299,621.00	599,243.00	599,243	100%
Total General Administration Expenses		1,577,429.89	1,437,585.18	403,444.43	1,061,138.06	1,851,256	57%
NET GENERAL ADMINISTRATION		9,308,524.21	9,118,074.19	983,200.04	3,656,895.95	9,173,829	40%
General Fund - Audit Department							
RE Taxes - Audit	01-4-130-4010	20,057.42	20,040.98	7,375.35	15,462.97	20,000	77%
Accounting & Auditing	01-5-130-6100	35,100.00	34,920.00	8,360.00	15,360.00	36,500	42%
NET - AUDIT DEPARTMENT		(15,042.58)	(14,879.02)	(984.65)	102.97	(16,500)	-1%
General Fund - IMRF Department							
RE Taxes - IMRF	01-4-140-4010	72,109.86	65,142.80	23,943.26	50,198.86	65,000	77%
Replacement Tax	01-4-140-4120	92,535.00	90,889.00	0.00	0.00	93,615	0%
Interest Income	01-4-140-4600	0.00	0.00	0.00	0.00	0	0%
Expense Reimbursement	01-4-140-4940	26,688.39	24,892.52	2,371.46	10,039.37	31,340	32%
Total IMRF Revenues		191,333.25	180,924.32	26,314.72	60,238.23	189,955	32%
IMRF Premium Expense	01-5-140-5120	210,445.44	194,160.51	13,974.59	60,423.90	179,872	34%
NET - IMRF DEPARTMENT		(19,112.19)	(13,236.19)	12,340.13	(185.67)	10,083	-2%
General Fund - Social Security Department							
RE Taxes - FICA/Med	01-4-150-4010	225,346.90	200,385.68	73,658.01	154,429.64	200,000	77%
Expense Reimbursement	01-4-150-4940	127,996.70	128,779.38	10,285.90	46,682.37	134,731	35%
Library Expense Reimb.	01-4-150-4941	28,310.72	28,653.10	2,297.84	9,813.52	30,600	32%
Total Soc Security Revenues		381,654.32	357,818.16	86,241.75	210,925.53	365,331	58%
FICA Expense	01-5-150-5110	201,288.27	202,747.55	16,281.67	72,121.96	217,739	33%
Medicare Expense	01-5-150-5112	127,511.29	128,761.10	10,068.47	47,064.60	138,284	34%
Total Soc Security Expenses		328,799.56	331,508.65	26,350.14	119,186.56	356,023	33%
NET - SOCIAL SECURITY DEPT		52,854.76	26,309.51	59,891.61	91,738.97	9,308	886%
General Fund - Liability Insurance Dept							
RE Taxes - Ins Liability	01-4-160-4010	320,477.21	290,560.41	110,494.37	231,659.86	300,000	77%
Expense Reimbursement	01-4-160-4940	0.00	0.00	0.00	0.00	-	0%
Total Liability Insurance Revenues		320,477.21	290,560.41	110,494.37	231,659.86	300,000	77%
Insurance Premium	01-5-160-6800	449,520.12	452,758.88	0.00	0.00	488,060	0%
NET - LIABILITY INSURANCE DEPT		(129,042.91)	(162,198.47)	110,494.37	231,659.86	(188,060)	-123%

Police Department	Account #	Actual FY 17	Actual FY 18	Month of August	YTD Actual for FY 19	Budget FY 19	33% of budget
RE Property Tax	01-4-210-4010	1,046,390.82	1,107,755.95	442,469.35	927,670.74	1,201,417	77%
Grants	01-4-210-4150	88,764.64	26,682.37	6,523.18	8,306.08	29,760	28%
Sex Offender Reg Fee	01-4-210-4480	3,240.00	7,510.00	410.00	1,590.00	5,000	0%
Miscellaneous Revenues	01-4-210-4900	131,676.98	183,034.11	15,807.60	50,818.33	175,287	29%
Expense Reimbursement	01-4-210-4940	11,641.11	4,558.00	184.00	3,192.75	0	0%
Sale of Assets	01-4-210-4950	6,233.33	11,970.00	0.00	0.00	0	0%
Total Police Department Revenues		1,287,946.88	1,341,510.43	465,394.13	991,577.90	1,411,464	70%
Salary - Regular - FT	01-5-210-5010	3,236,497.86	3,356,981.88	266,506.62	1,269,577.15	3,533,117	36%
Overtime	01-5-210-5040	410,571.39	315,416.26	22,996.85	102,222.79	400,000	26%
Police Pension	01-5-210-5122	1,026,333.40	1,087,714.97	0.00	477,113.77	1,181,417	40%
Health Insurance	01-5-210-5130	733,616.37	832,854.34	72,996.19	287,787.70	911,807	32%
Dental claims	01-5-210-5131	40,544.26	54,588.08	7,670.31	25,153.48	50,000	50%
Unemployment Compensation	01-5-210-5136	11,771.00	10,393.00	0.00	0.00	0	0%
Uniform Allowance	01-5-210-5140	64,295.91	67,481.12	334.11	762.57	72,367	1%
Training	01-5-210-5152	79,508.65	58,458.67	3,050.76	10,459.47	83,305	13%
Police Dept Personnel & Benefit Expenses		5,603,138.84	5,783,888.32	373,554.84	2,173,076.93	6,232,013	35%
Repair/Maint-Equipment	01-5-210-6020	8,342.61	9,973.61	522.99	4,575.77	20,656	22%
Repair/Maint-Vehicles	01-5-210-6030	64,832.94	77,070.58	2,622.53	20,134.64	99,050	20%
Telephone/Utilities	01-5-210-6200	42,940.62	41,675.83	1,609.01	26,970.91	43,800	62%
Physical Exams	01-5-210-6810	210.00	0.00	0.00	0.00	2,135	0%
Community Policing	01-5-210-6816	7,991.22	7,830.41	924.97	1,820.66	9,500	19%
K 9 Program Expenses	01-5-210-6818	3,301.45	15,594.38	392.30	809.22	5,550	15%
Sex Offender State Disburse	01-5-210-6835	2,080.00	2,985.00	195.00	550.00	3,250	0%
Police Department - Contractual Expenses		129,698.84	155,129.81	6,266.80	54,861.20	183,941	30%
Office Supplies	01-5-210-7020	6,472.45	6,409.54	496.28	1,864.30	10,850	17%
Gas & Oil	01-5-210-7030	70,384.40	99,685.98	7,400.06	25,740.32	100,000	26%
Operating Supplies	01-5-210-7040	36,697.71	24,660.57	380.07	1,048.85	45,185	2%
Miscellaneous Expense	01-5-210-7900	37,100.96	35,482.95	836.54	2,025.23	40,800	5%
Police Department - Supplies Expense		150,655.52	166,239.04	9,112.95	30,678.70	196,835	16%
Equipment	01-5-210-8200	45,298.05	39,104.62	2,372.55	7,122.73	74,830	10%
Vehicles	01-5-210-8300	0.00	0.00	0.00	0.00	0	0%
Total Police Department Expenses		5,928,791.25	6,144,361.79	391,307.14	2,265,739.56	6,687,619	34%
NET - POLICE DEPARTMENT		(4,640,844)	(4,802,851)	74,087	(1,274,162)	(5,276,155)	24%
Public Safety Building Department							
Salaries - Regular - FT	01-5-215-5010	602,190.90	639,282.47	49,294.35	153,314.24	708,098	22%
Other (FICA & IMRF)	01-5-215-5079	105,206.33	110,384.54	8,439.19	26,247.40	124,979	21%
Other Contractual Services	01-5-215-6890	275,223.55	299,759.63	25,486.99	84,247.08	283,232	30%
NET - PUBLIC SAFETY BLDG DEPT		(982,620.78)	(1,049,426.64)	(83,220.53)	(263,808.72)	(1,116,309)	24%

Fire Department	Account #	Actual FY 17	Actual FY 18	Month of August	YTD Actual for FY 19	Budget FY 19	33% of budget
RE Property Tax	01-4-220-4010	818,109.40	990,630.02	376,072.90	788,465.51	1,021,132	77%
Grants	01-4-220-4150	1,000.00	15,755.74	0.00	5,965.97	5,000	0%
Miscellaneous Revenues	01-4-220-4900	36,031.31	13,979.92	1,433.50	4,317.98	25,000	17%
Expense Reimbursement	01-4-220-4940	1,012.98	37,771.00	500.00	723.41	0	0%
Sale of Assets	01-4-220-4950	0.00	10,100.00	0.00	0.00	10,000	0%
Total Fire Department Revenues		856,153.69	1,068,236.68	378,006.40	799,472.87	1,061,132	75%
Salaries - Regular - FT	01-5-220-5010	1,969,596.22	2,068,633.52	157,487.34	772,353.87	2,157,165	36%
Overtime	01-5-220-5040	200,784.91	136,531.18	13,257.50	58,335.01	183,250	32%
Fire Pension	01-5-220-5124	798,051.98	970,589.04	0.00	404,304.99	1,001,132	40%
Health Insurance	01-5-220-5130	422,210.56	495,623.54	40,267.56	170,141.06	507,253	34%
Dental Insurance	01-5-220-5131	21,499.64	27,129.39	3,076.00	8,613.72	32,000	27%
Unemployment Compensation	01-5-220-5136	0.00	0.00	0.00	0.00	0	0%
Uniform Allowance	01-5-220-5140	30,429.01	29,482.63	1,886.60	8,486.09	32,300	26%
Training	01-5-220-5152	31,096.97	18,816.26	1,564.14	2,964.29	20,600	14%
Fire Depart Personnel & Benefits Expenses		3,473,669.29	3,746,805.56	217,539.14	1,425,199.03	3,933,700	36%
Repair/Maint-Bldg	01-5-220-6010	57,115.64	47,639.91	255.87	2,139.21	42,350	5%
Repair/Maint-Equipment	01-5-220-6020	0.00	7,889.99	15.60	529.08	14,200	4%
Repair/Maint-Vehicles	01-5-220-6030	57,015.82	36,582.75	2,905.70	6,751.73	53,500	13%
Telephone/Utilities	01-5-220-6200	11,697.06	19,202.62	791.09	2,741.78	15,240	18%
Physical Exams	01-5-220-6810	654.50	709.00	0.00	0.00	2,500	0%
Fire Prevention	01-5-220-6822	8,983.96	10,251.54	1,193.00	2,323.79	12,000	19%
Emergency Med Supplies	01-5-220-6824	0.00	9,760.71	669.30	1,805.25	11,500	0%
Fire Department - Contractual Expenses		135,466.98	132,036.52	5,830.56	16,290.84	151,290	11%
Office Supplies	01-5-220-7020	12,685.62	11,665.64	3,945.64	5,482.55	14,100	39%
Gas & Oil	01-5-220-7030	14,367.49	18,927.06	1,290.75	4,790.33	20,000	24%
Operating Supplies	01-5-220-7040	6,830.98	8,606.67	567.05	2,669.10	8,000	33%
Miscellaneous Expense	01-5-220-7900	1,296.45	588.80	0.00	354.91	1,000	35%
Fire Department - Supplies Expenses		35,180.54	39,788.17	5,803.44	13,296.89	43,100	31%
Equipment	01-5-220-8200	53,632.91	42,800.39	2,204.67	5,467.23	25,000	22%
Total Fire Department Expenses		3,697,949.72	3,961,430.64	231,377.81	1,460,253.99	4,153,090	35%
NET - FIRE DEPARTMENT		(2,841,796.03)	(2,893,193.96)	146,628.59	(660,781.12)	(3,091,958)	21%
Police & Fire Commission Department							
Physical Exams	01-5-225-6810	13,100.90	18,663.60	0.00	103.00	16,500	1%
Other Contractual Services	01-5-225-6890	9,417.64	21,302.72	2,748.75	4,795.36	10,015	48%
NET - POLICE & FIRE COMMISSION		(22,518.54)	(39,966.32)	(2,748.75)	(4,898.36)	(26,515)	18%

Community Development	Account #	Actual FY 17	Actual FY 18	Month of August	YTD Actual for FY 19	Budget FY 19	33% of budget
Building Permits	01-4-230-4300	235,547.00	106,298.00	17,967.50	56,402.50	205,259	27%
Electric Permits	01-4-230-4310	19,798.50	13,270.50	1,576.00	4,085.00	19,965	20%
Electrician Certification Fees	01-4-230-4315	2,900.00	4,200.00	50.00	400.00	3,050	13%
Plumbing Permits	01-4-230-4320	17,392.50	10,390.00	780.00	2,372.50	12,626	19%
HVAC Permits	01-4-230-4330	11,156.25	4,224.00	394.00	1,503.00	5,500	27%
Plan Review Fees	01-4-230-4340	76,325.75	7,826.25	2,050.25	2,453.25	40,000	6%
Sidewalk/Lot Grading Fees	01-4-230-4350	1,487.50	1,360.00	85.00	340.00	1,575	22%
Insulation Permits	01-4-230-4360	4,060.00	1,237.50	100.00	315.00	1,812	17%
Zoning Review Fee	01-4-230-4370	3,215.00	2,910.00	245.00	1,365.00	3,535	39%
Code Enforcement	01-4-230-4380	6,300.00	6,400.00	2,700.00	3,800.00	5,900	64%
Other Permits	01-4-230-4390	4,682.50	4,730.00	240.00	2,062.50	5,861	35%
Miscellaneous Revenues	01-4-230-4900	25.00	102.50	0.00	0.00	250	0%
Expense Reimbursement	01-4-230-4940	2,569.25	1,370.83	1,297.54	2,483.28	2,000	124%
Planning Fees	01-4-230-4950	21,498.75	11,871.50	2,550.00	10,325.00	13,500	76%
Planning Misc.	01-4-230-4955	12,801.34	2,060.00	238.75	768.75	1,000	77%
Building Department - Revenues		419,759.34	178,251.08	30,274.04	88,675.78	321,833	28%
Salaries- Regular - FT	01-5-230-5010	213,387.45	207,201.12	19,217.60	81,356.17	252,208	32%
FICA	01-5-230-5079	16,324.12	15,850.89	1,470.14	6,223.73	19,294	32%
IMRF	01-5-230-5120	26,688.39	24,892.52	2,371.46	10,039.37	31,340	32%
Health Ins Expense	01-5-230-5130	59,052.36	69,550.97	10,321.28	29,784.62	98,917	30%
Dental Insurance	01-5-230-5131	2,059.20	3,803.88	0.00	494.40	5,000	10%
Unemployment	01-5-230-5136	0.00	0.00	0.00	0.00	0	0%
Training	01-5-230-5152	1,147.00	1,355.87	398.00	1,476.30	4,000	37%
Building Dept Personnel & Benefits Expense		318,658.52	322,655.25	33,778.48	129,374.59	410,759	31%
Repair/Maint - Equip	01-5-230-6020	5,331.66	6,478.55	392.72	3,008.51	5,500	55%
Repair/Maint - Vehicles	01-5-230-6030	0.00	0.00	64.43	64.43	1,500	4%
Other Professional Services	01-5-230-6190	45,691.08	45,939.84	2,958.32	11,833.28	46,000	26%
Telephone	01-5-230-6200	2,002.33	2,048.79	200.63	643.73	3,000	21%
Postage	01-5-230-6210	6,279.70	3,373.10	1,766.52	2,637.03	2,000	132%
Printing & Publishing	01-5-230-6220	2,504.48	3,361.97	864.50	1,471.45	2,875	51%
Building Department - Contractual Expenses		61,809.25	61,202.25	6,247.12	19,658.43	60,875	32%
Office Supplies	01-5-230-7020	6,616.86	6,661.11	105.78	933.46	7,100	13%
Gas & Oil	01-5-230-7030	625.68	592.92	29.19	189.01	1,700	11%
Miscellaneous Expense	01-5-230-7900	1,142.81	502.92	0.00	83.93	1,000	8%
Operating Transfer Out	01-5-230-9999	0.00	0.00	0.00	0.00	0	0%
Building Department - Supplies Expenses		8,385.35	7,756.95	134.97	1,206.40	9,800	12%
Total Building Department Expenses		388,853.12	391,614.45	40,160.57	150,239.42	481,434	31%
NET - BUILDING DEPARTMENT		30,906.22	(213,363.37)	(9,886.53)	(61,563.64)	(159,601)	39%
Civil Defense Department							
RE Tax - Civil Defense	01-4-240-4010	7,032.46	7,030.74	2,578.98	5,407.02	7,000	77%
Miscellaneous Revenues	01-4-240-4900	25,285.36	631.35	0.00	0.00	0	#DIV/0!
Miscellaneous Expense	01-5-240-7900	30,687.50	83,747.22	0.00	0.00	7,000	0%
NET - CIVIL DEFENSE DEPARTMENT		1,630.32	(76,085.13)	2,578.98	5,407.02	0	#DIV/0!

Street Department	Account #	Actual FY 17	Actual FY 18	Month of August	YTD Actual for FY 19	Budget FY 19	33% of budget
RE Tax - Road & Bridge	01-4-310-4010	320,508.22	320,365.58	117,440.59	251,205.35	320,000	79%
Grants	01-4-310-4150	0.00	60,503.12	0.00	34,980.00	0	0%
Sidewalk/Driveway/Lot Grading	01-4-310-4350	2,940.00	2,220.00	360.00	960.00	2,000	48%
Miscellaneous Revenues	01-4-310-4900	5,374.04	1,822.38	737.50	937.50	3,000	0%
Expense Reimbursement	01-4-310-4940	67,971.36	34,421.34	27,296.50	34,904.85	10,000	0%
Expense Reimbursement	01-5-310-4940	(18,583.89)	(210,670.36)	0.00	(39,605.40)	-	#DIV/0!
Sale of Assets	01-4-310-4950	7,100.00	0.00	8,701.20	21,338.70	-	#DIV/0!
Street Department - Revenues		385,309.73	208,662.06	154,535.79	304,721.00	335,000	91%
Salaries - Regular - FT	01-5-310-5010	583,028.64	580,406.51	46,045.52	198,647.27	623,098	32%
Overtime	01-5-310-5040	42,551.26	37,416.56	4,543.21	12,455.86	40,000	31%
Health Insurance	01-5-310-5130	219,296.47	220,842.37	14,402.20	48,594.87	233,560	21%
Uniform Allowance	01-5-310-5140	13,047.28	16,329.15	2,604.14	5,040.41	15,000	34%
Training	01-5-310-5152	710.00	293.10	50.00	50.00	1,500	3%
Street Dept - Personnel & Benefits Expenses		858,633.65	855,287.69	67,645.07	264,788.41	913,158	29%
Repair/Maint - Storm Drain	01-5-310-6001	24,632.80	27,988.96	7,683.06	19,248.04	25,000	77%
Repair/Maint - St/Parking Lot	01-5-310-6002	87,243.71	119,636.90	12,150.56	40,020.83	95,000	42%
Repair/Maint - Sidewalk/Curb	01-5-310-6003	43,102.36	54,680.98	(2,199.80)	24,588.96	40,000	61%
Repair/Maint - Building	01-5-310-6010	19,295.50	14,190.21	251.06	1,373.84	13,000	11%
Repair/Maint - Equipment	01-5-310-6020	82,224.48	114,315.41	19,347.20	14,018.66	110,000	13%
Repair/Maint - Traffic Signal	01-5-310-6024	81,592.52	88,578.51	1,219.00	7,968.44	30,000	27%
Telephone/Utilities	01-5-310-6200	7,166.18	7,632.54	791.22	2,052.55	6,500	32%
Leaf Clean-up/Removal	01-5-310-6826	10,592.30	9,296.40	0.00	0.00	12,000	0%
Street Department - Contractual Expenses		355,849.85	436,319.91	39,242.30	109,271.32	331,500	33%
Office Supplies	01-5-310-7020	6,919.17	4,707.63	175.90	860.08	6,000	14%
Gas & Oil	01-5-310-7030	49,327.64	73,272.48	6,641.72	14,372.96	75,000	19%
Operating Supplies	01-5-310-7040	29,559.93	32,087.06	2,074.54	5,607.29	25,000	22%
Miscellaneous Expense	01-5-310-7900	1,179.69	1,165.50	0.00	183.41	2,000	0%
Street Department - Supplies Expenses		86,986.43	111,232.67	8,892.16	21,023.74	108,000	19%
Equipment	01-5-310-8200	0.00	0.00	0.00	0.00	0	0%
Total Street Department Expenses		1,301,469.93	1,402,840.27	115,779.53	395,083.47	1,352,658	29%
NET - STREET DEPARTMENT		(916,160.20)	(1,194,178.21)	38,756.26	(90,362.47)	(1,017,658)	9%
Street Lighting							
RE Tax - Street Lighting	01-4-330-4010	210,318.07	200,385.68	77,345.68	162,161.12	210,000	77%
Expense Reimbursement	01-5-330-4940	0.00	0.00	0.00	0.00	0	0%
Repair/ Maint - Street Light	01-5-330-6022	74,151.47	140,835.41	0.00	5,286.00	40,000	13%
Street Lighting - electricity	01-5-330-6310	285,611.12	278,689.77	21,949.44	66,299.91	280,000	24%
NET - STREET LIGHTING		(149,444.52)	(219,139.50)	55,396.24	90,575.21	(110,000)	-82%

Landfill Department	Account #	Actual FY 17	Actual FY 18	Month of August	YTD Actual for FY 19	Budget FY 19	33% of budget
RE Tax - Refuse/Landfill	01-4-335-4010	45,081.73	45,101.85	18,418.18	38,615.10	50,000	77%
Miscellaneous Revenue	01-4-335-4900	0.00	0.00	0.00	0.00	0	0%
Miscellaneous Expenses	01-5-335-7900	47,563.60	68,103.20	25,000.00	25,000.00	56,000	45%
NET - GARBAGE DEPARTMENT		(2,481.87)	(23,001.35)	(6,581.82)	13,615.10	(6,000)	-227%
Forestry Department							
RE Tax - Forestry	01-4-340-4010	40,081.62	35,081.34	14,741.50	30,906.71	40,000	77%
Other Fees	01-4-340-4490	0.00	0.00	0.00	0.00	0	0%
Miscellaneous	01-4-340-4900	0.00	0.00	0.00	0.00	0	0%
Forestry Department Revenues		40,081.62	35,081.34	14,741.50	30,906.71	40,000	77%
Repair/ Maint - Other	01-5-340-6090	0.00	0.00	0.00	0.00	0	0%
Tree Removal or Purchase	01-5-340-6850	127,536.00	91,591.98	13,726.00	15,302.65	80,000	19%
Miscellaneous Expense	01-5-340-7900	0.00	0.00	0.00	0.00	-	#DIV/0!
Forestry Department Expenses		127,536.00	91,591.98	13,726.00	15,302.65	80,000	19%
NET - FORESTRY DEPARTMENT		(87,454.38)	(56,510.64)	1,015.50	15,604.06	(40,000)	0%
Engineering Department							
Engineering	01-5-360-6140	387.50	31,641.67	1,531.00	6,262.64	27,000	23%
Subdivision Expense	01-5-360-6824	8,735.00	1,508.00	0.00	0.00	10,000	0%
Office Supplies	01-5-360-7020	7,023.73	7,013.20	854.04	1,234.12	8,000	15%
Gas & Oil	01-5-360-7030	0.00	0.00	0.00	0.00	-	0%
NET - ENGINEERING DEPARTMENT		(16,146.23)	(40,162.87)	(2,385.04)	(7,496.76)	(45,000)	17%
Health / Social Services							
Council on Aging	01-5-410-6830	33,000.00	23,000.00	0.00	0.00	23,000	0%
Demolition / Nuisance	01-5-410-6832	0.00	2,105.00	1,035.00	1,260.00	5,000	25%
NET - HEALTH / SOCIAL SERVICES		(33,000.00)	(25,105.00)	(1,035.00)	(1,260.00)	(28,000)	5%
Economic Development							
Planning Dept Services	01-5-610-6150	52,650.00	49,923.81	360.00	360.00	57,500	1%
Economic / Business	01-5-610-6840	73,000.00	73,000.00	0.00	55,000.00	73,000	75%
Tourism	01-5-610-6842	5,500.00	0.00	5,000.00	5,000.00	7,000	71%
Historic Preservation	01-5-610-6844	20,357.87	32,976.59	942.46	3,117.86	4,000	78%
NET - ECONOMIC DEVELOPMENT		(151,507.87)	(155,900.40)	(6,302.46)	(63,477.86)	(141,500)	45%
Ag Tech Initiatives Dept							
Federal Grants	01-4-620-4160	0.00	0.00	0.00	0.00	0	0%
Other Contractual Services	01-5-620-6890	0.00	0.00	0.00	0.00	0	0%
NET - AG TECH INITIATIVES DEPT		0.00	0.00	0.00	0.00	0	0%
Utility Tax Dept.							
Utility Tax - Electric	01-4-751-4131	1,393,783.95	1,364,570.77	142,187.62	480,810.48	1,459,907	33%
Utility Tax - Gas	01-4-751-4132	308,338.72	328,638.72	13,900.61	93,520.69	325,813	29%
Utility Tax - Telephone	01-4-751-4133	300,448.75	262,901.00	0.00	58,736.15	296,315	20%
Expense Reimbursement	01-4-751-4940	0.00	40,938.89	0.00	3,188.79	0	0%
Columbia Ave.	01-5-751-8040	450,000.00	0.00	0.00	0.00	0	0%
Downtown Streetscape	01-5-751-8052	644,463.91	0.00	0.00	0.00	0	0%
Downtown Pavement Project	01-5-751-8054	294,850.55	0.00	0.00	0.00	0	0%
Tripp Rd. Reconstruction	01-5-751-8056	0.00	47,257.18	1,784.07	1,784.07	0	#DIV/0!
Southside Stormsewer Study	01-5-751-8058	0.00	87,498.97	0.00	0.00	0	0%
Bellwood Detention Basin	01-5-751-8060	0.00	27,478.50	550.00	1,100.00	0	#DIV/0!
Poplar Grove/ Lawrenceville Int	01-5-751-8062	0.00	0.00	0.00	0.00	12,000	0%
		613,256.96	1,834,814.73	153,754.16	633,372.04	2,070,035	31%
TOTAL GENERAL FUND REVENUES		17,079,016.60	16,486,943.83	2,914,453.59	8,294,114.21	17,418,835	48%
TOTAL GENERAL FUND EXPENSES		17,079,016.60	16,486,943.83	1,389,455.50	5,983,139.29	17,418,835	34%
NET REV OVER (UNDER) EXP		0.00	0.00	1,524,998.09	2,310,974.92	0	

CASH FLOW STATEMENT FOR WATER / SEWER FUND as of August 31, 2018

Water / Sewer General Administration

Line Item	Account #	Actual FY 17	Actual FY 18	Month of August	Actual FY 19	Budget FY 19	25.00% used
Beginning Cash & Investments		75,606	75,606		75,607.08	75,606	
Interest Income-sweep acct	61-4-110-4600	0	0	0.00	26.00	0	
Miscellaneous Revenues	61-4-110-4900	0	0	0.00	0.00	0	
Operating Transfer Out	61-5-110-9999	0		0.00	0.00	0	
Ending Cash		75,606	75,606	0.00	75,633.08	75,606	

Water Department

Line Item	Account #	Actual FY 17	Actual FY 18	Month of August	Actual FY 19	Budget FY 19	25.00% used
Beginning Cash & Investments		697,162	590,508		430,243.45	592,645	
Water Consumption	61-4-810-4500	2,118,914	2,143,711	148,329.26	684,978.27	2,191,072	31%
Dep on Agr - Westhill	61-4-810-4521	3,786	0	0.00	0.00	0	0%
Meters Sold	61-4-810-4530	93,879	93,455	900.35	3,385.79	87,650	4%
Other Services	61-4-810-4590	5,547	7,813	592.50	1,955.50	7,500	26%
W/S Interest	61-4-810-4600	0	2,333	89.27	277.67	0	0%
Miscellaneous Revenues	61-4-810-4900	6,450	0	0.00	0.00	0	0%
Expense Reimbursement	61-4-810-4940	6,196	39,267	0.00	0.00	0	0%
Sale of Assets	61-4-810-4950	1,925	0	0.00	0.00	0	0%
Operating Transfers-In	61-4-810-9998	0	0	0.00	0.00	-	0%
Total Water Department Revenues		2,236,697	2,286,579	149,911.38	690,597.23	2,286,222	30%
Salaries - Regular - FT	61-5-810-5010	555,858	566,222	43,258.33	201,054.77	577,070	35%
Overtime	61-5-810-5040	34,276	28,055	1,197.35	7,620.96	35,000	22%
FICA Water	61-5-810-5079	51,932	49,317	3,848.02	17,952.65	45,100	40%
IMRF	61-5-810-5120	79,941	73,542	5,420.21	25,684.94	73,011	35%
Group Health Insurance	61-5-810-5130	214,738	246,826	15,057.40	54,595.26	245,391	22%
Uniform Allowance	61-5-810-5140	6,484	7,257	1,016.85	2,888.75	13,000	22%
Rep& Maint-Infrastructure	61-5-810-6000	68,065	136,623	13,175.26	55,167.87	70,000	79%
Rep& Maint - Buildings	61-5-810-6010	27,173	14,405	2,566.33	4,094.63	24,500	17%
Rep& Maint - Equipment	61-5-810-6020	51,773	32,237	5,343.40	10,200.35	33,000	31%
Rep& Maint - Vehicles	61-5-810-6030	18,417	12,583	942.76	2,124.84	20,000	11%
Rep& Maint - Contractual	61-5-810-6040	102,795	66,355	5,305.00	16,622.82	85,000	20%
Other Professional Serv	61-5-810-6190	4,118	2,132	612.04	1,331.78	12,000	11%
Telephone	61-5-810-6200	8,259	9,220	699.08	2,172.99	9,000	24%
Postage	61-5-810-6210	15,304	17,831	1,481.82	4,548.61	22,000	21%
Utilities	61-5-810-6300	311,597	255,296	23,062.01	71,489.34	260,000	27%
Office Equip Rental/Maint	61-5-810-6410	32,006	29,265	228.55	1,605.23	30,300	5%
Liability Insurance	61-5-810-6800	110,328	111,448	0.00	0.00	136,884	0%
Lab Expense	61-5-810-6812	27,337	30,984	4,767.50	11,978.58	36,000	33%
Office Supplies	61-5-810-7020	8,298	8,530	884.21	1,493.64	9,000	17%
Gas & Oil	61-5-810-7030	15,226	17,057	2,233.35	5,035.65	20,000	25%
Operating Supplies	61-5-810-7040	70,770	60,663	1,566.00	11,529.35	65,000	18%
Chemicals	61-5-810-7050	59,764	85,026	14,227.50	27,012.24	90,000	30%
Meters	61-5-810-7060	42,939	41,995	846.90	4,320.49	20,000	22%
Bad Debt Expense	61-5-810-7850	2,118	281	47.71	338.77	2,000	17%
Miscellaneous Expense	61-5-810-7900	5,168	4,077	280.14	462.96	8,400	6%
Equipment	61-5-810-8200	0	0	0.00	0.00	0	0%
Transfer Out	61-5-810-9999	0	0	0.00	0.00	0	0%
Depreciation Set Aside		305,604	314,772	27,017.92	108,071.68	324,215	33%
Bond Pmt Set Aside		141,200	213,350	833.33	3,333.32	10,000	33%
Total Water Department Expenses		2,371,488	2,435,350	175,918.97	652,732.47	2,275,871	29%
NET WATER DEPARTMENT		(134,791)	(148,770)	(26,007.59)	37,864.76	10,351	
Change in Accounts Receivable (YTD)		28,419	(11,494)		104,315.58		
Ending Cash & Investments		590,790	430,243		572,423.79	602,996	

CASH FLOW STATEMENT FOR WATER / SEWER FUND as of August 31, 2018

Sewer Department

Line Item	Account #	Actual FY 17	Actual FY 18	Month of August	Actual FY 19	Budget FY 19	25.00% used
Beginning Cash & Investments		1,284,737	965,295		797,980.97	516,865	
Interest Income							
Sewer Consumption	61-4-820-4500	3,103,395	3,349,266	371,797.91	1,142,063.43	3,172,429	36%
Dep on Agr - Westhills	61-4-820-4521	2,978	0	0.00	0.00	0	0%
Meters Sold	61-4-820-4530	92,544	92,004	916.50	3,361.00	87,650	4%
Other Services	61-4-820-4590	92,574	27,739	819.07	9,768.66	25,000	39%
WWT Interest	61-4-820-4600	0	931	380.36	975.59	0	#DIV/0!
Miscellaneous Revenues	61-4-820-4900	2,153	100	0.00	0.00	0	0%
Expense Reimbursement	61-4-820-4940	0	123,351	0.00	0.00	0	0%
Operating Transfers-In	61-4-820-9998	500,000	500,000	0.00	0.00	500,000	0%
Total Sewer Department Revenues		3,793,644	4,093,391	373,913.84	1,156,168.68	3,785,079	31%
Salaries - Regular - FT							
Salaries - Regular - FT	61-5-820-5010	565,019	575,315	43,198.47	198,890.94	626,958	32%
Overtime	61-5-820-5040	44,286	46,506	3,114.94	10,710.93	55,000	19%
FICA WWTP	61-5-820-5079	39,653	40,034	3,095.71	14,041.90	49,585	28%
IMRF	61-5-820-5120	82,421	76,818	5,649.41	25,799.08	82,337	31%
Group Health Insurance	61-5-820-5130	207,899	234,151	14,457.70	53,631.37	223,259	24%
Dental Claims	61-5-820-5131	0	0	0.00	0.00	0	0%
Uniform Allowance	61-5-820-5140	18,158	20,427	1,847.92	6,032.99	17,000	35%
Travel	61-5-820-5151	0	0	0.00	0.00	0	0%
Rep & Maint - Lift Stations	61-5-820-6005	50,022	29,795	287.00	287.00	20,000	1%
Rep & Maint - Buildings	61-5-820-6010	19,652	91,703	118.63	39,302.40	123,000	32%
Rep & Maint - Equipment	61-5-820-6020	88,281	54,797	3,915.00	9,606.69	0	0%
Rep & Maint - Vehicles	61-5-820-6030	29,626	29,372	3,209.21	4,886.55	25,000	20%
Rep & Maint - Contractual	61-5-820-6040	28,275	18,343	0.00	2,952.13	100,000	0%
Other Professional Serv	61-5-820-6190	76,824	103,291	8,235.81	49,842.02	73,500	68%
Telephone	61-5-820-6200	10,153	9,369	760.04	2,268.21	11,000	21%
Postage	61-5-820-6210	15,123	17,692	1,481.83	4,302.31	20,000	22%
Utilities	61-5-820-6300	208,399	212,511	20,415.93	55,720.84	230,000	24%
Office Equip Rental/Maint	61-5-820-6410	4,224	3,077	228.55	914.20	6,000	15%
Liability Insurance	61-5-820-6800	131,014	132,345	0.00	0.00	142,500	0%
Lab Expense	61-5-820-6812	36,420	27,530	709.44	7,351.79	50,000	15%
Sludge Disposal	61-5-820-6814	9,871	7,240	1,155.26	2,723.79	10,000	27%
Office Supplies	61-5-820-7020	5,682	8,613	884.21	1,493.63	8,000	19%
Gas & Oil	61-5-820-7030	14,368	18,551	604.29	1,390.90	35,000	4%
Operating Supplies	61-5-820-7040	23,637	20,120	2,764.56	7,009.12	20,000	35%
Chemicals	61-5-820-7050	35,011	24,826	584.10	13,532.15	60,000	23%
Meters	61-5-820-7060	12,258	30,521	846.90	5,802.22	20,000	29%
Bad Debt Expense	61-5-820-7850	2,665	341	59.28	392.59	4,000	10%
Miscellaneous Expenses	61-5-820-7900	4,241	2,430	109.00	115.91	5,000	2%
Equipment	61-5-820-8200	0	0	0.00	0.00	0	0%
Operating Transfer Out	61-5-820-9999	500,000	500,000	0.00	0.00	500,000	0%
Depreciation Set Aside		452,955	466,544	40,083.33	160,333.32	431,000	37%
Bond Pmt Set Aside		332,395	338,350	15,000.00	60,000.00	180,000	33%
		3,048,534	3,140,615	172,816.52	739,334.98	3,128,139	24%
Sewer Department							
Collection System Expenses							
Salaries - Regular - FT	61-5-830-5010	282,807	284,555	22,469.15	102,213.14	304,959	34%
Overtime	61-5-830-5040	22,941	23,638	2,002.20	8,446.14	30,000	28%
FICA Sewer	61-5-830-5079	20,088	23,577	1,872.03	8,464.09	25,624	33%
IMRF	61-5-830-5120	43,336	39,176	3,019.73	13,655.27	42,026	32%
Group Health Insurance	61-5-830-5130	99,658	101,803	7,126.70	26,580.79	110,737	24%
Uniform Allowance	61-5-830-5140	4,300	5,200	734.05	1,289.60	6,600	20%
Rep & Maint - Infrastructure	61-5-830-6000	34,372	37,085	550.00	5,556.75	40,000	14%
Rep & Maint - Equipment	61-5-830-6020	4,127	23,840	481.60	1,994.15	12,000	17%
Rep & Maint - Vehicles	61-5-830-6030	29,748	17,076	3,087.80	3,532.14	20,000	18%
Office Equip Rent/Maint	61-5-830-6410	26,120	26,106	0.00	691.03	30,300	2%
Gas & Oil	61-5-830-7030	7,607	9,109	772.54	2,216.63	10,000	22%
Operating Supplies	61-5-830-7040	16,402	16,220	1,623.20	3,417.72	20,000	17%

Sewer Department

	Account #	Actual FY 17	Actual FY 18	Month of August	Actual FY 19	Budget FY 19	25.00% used
Misc. Expense	61-5-830-7900	1,182	569	0.00	0.00	3,000	0%
Equipment	61-5-830-8200	0	0	0.00	0.00	0	0%
Total Sewer Department Expenses		3,641,224	3,748,570	216,555.52	917,392.43	3,783,385	24%
NET SEWER DEPARTMENT		152,419	344,821	157,358.32	238,776.25	1,694	
Change in Accounts Receivable		28,419	(12,134.66)		104,315.58		
Ending Cash & Investments		965,572	797,981		1,141,072.80	18,559	

Bond Reserves (necessary per bond ordinances) - was 06-15

Beginning Cash & Investments		586,815	588,709		591,697.61	588,709	
Additional reserves		0	0	0	0	0	0%
Interest Income		1,894	2,989	447.12	2,328.13	0	0%
Transfer Out: Bond Payment		0	0	0.00	0.00	350,000	0%
Ending Cash & Investments		588,709	591,698		594,025.74	238,709	

Connection Fees (plant expansion) / Deposits on Agreement (system extensions) Accounting - was 05-10

Beginning Cash & Investments		3,719,983	3,981,393		2,645,839.94	1,969,192	
Sources							
Interest Income		16,868	26,613	3,981.54	20,731.52	32,000	65%
Connection Fees	61-4-810-4510	66,291	47,382	1,987.00	9,935.00	30,000	33%
Deposits on Agreement	61-4-810-4520	660	1,045	55.00	658.06	2,500	26%
Connection Fees	61-4-820-4510	108,609	91,511	4,593.65	22,417.30	36,000	62%
Deposits on Agreement	61-4-820-4520	75,331	4,674	25.00	1,217.00	5,000	24%
Connection Fee Set-Aside		0	0	0.00	0.00	500,000	0%
TOTAL Sources		267,759	171,225	10,642.19	54,958.88	605,500	9%
Uses							
Construction in Progress - Water (1790)		6,350	0	0.00	0.00	0	0%
Construction in Progress - Sewer (1790)		0	0	0.00	0.00	0	0%
Equipment & Vehicles (1750)		0	0	0.00	0.00	0	0%
Recapture Refunds		0	0	0.00	0.00	0	0%
Land (1710)		0	0	2,000.00	2,000.00	0	0%
Loan to Depreciation Fund		0	1,506,778	0.00	0.00	0	0%
TOTAL Uses		6,350	1,506,778	2,000.00	2,000.00	0	#DIV/0!
Ending Cash & Investments		3,981,393	2,645,840		2,698,798.82	2,574,692	

Line Item	Account #	Actual FY 17	Actual FY 18	Month of August	Actual FY 19	Budget FY 19	25.00% used
Depreciation Funding - was 04-09 and 06-08							
Beginning Cash & Investments		3,042,622	2,204,050		2,565,727.85	2,656,366	
Sources							
Interest Income		13,634	21,512	3,218.33	16,757.52	25,500	66%
Loan Funds		0	0	0.00	0.00	0	0%
Grant		0	0	0.00	0.00	0	0%
Misc.		0	0	0.00	0.00	0	0%
Depreciation set aside - Water (for Plant)		84,796	314,772	27,017.92	108,071.68	324,215	33%
Depreciation set aside - Water (for System)		220,808	0	0.00	0.00	0	0%
Depreciation set aside - Sewer (for System)		150,050	966,544	40,083.33	160,333.32	981,000	16%
Depreciation set aside - Sewer (for Repl)		802,905	0	0.00	0.00	0	0%
Loan From Connection Fees		0	1,506,778	0.00	0.00	0	#DIV/0!
TOTAL Sources		1,272,193	2,809,605	70,319.58	285,162.52	1,330,715	21%
Uses							
Construction in Progress - Water (1790)		524,890	800,150	20,958.48	113,907.59	91,000	125%
Construction in Progress - Sewer (1790)		1,530,519	1,397,060	237,234.49	397,633.14	675,000	59%
Equipment & Vehicles (1750 & 1760))		55,356	250,716	0.00	0.00	125,000	0%
Buildings		0	0	0.00	0.00	0	0%
Transfer Out - Connection Fees Loan Paym		0	0	0.00	0.00	500,000	0%
Sewer-Repl Equip (part of 820-8200)		0	0	0.00	0.00	0	0%
TOTAL Uses		2,110,765	2,447,927	258,192.97	511,540.73	1,391,000	37%
Ending Cash & Investments		2,204,050	2,565,727		2,339,349.64	2,596,081.00	

Bond Payments Accounting - was 06-10 and 06-13

Beginning Cash & Investments		200,263	122,163		130,894.86	129,772	
Sources							
Interest Income		2,297	3,624	542.11	2,822.75	4,500	63%
Bond Proceeds	61-4-110-4901	0	0	0.00	0.00	0	0%
Operating Transfers-In	61-4-110-9998	0	0	0.00	0.00	0	0%
Bond Pmt Set Aside		473,595	551,700	15,833.33	63,333.32	540,000	12%
TOTAL Sources		475,892	555,324	16,375.44	66,156.07	544,500	12%
Uses							
Debt Service - Principal	61-5-110-8910	501,068	502,335	0.00	51,647.60	503,618	10%
Interest Expense	61-5-110-8920	52,924	44,257	0.00	10,228.23	34,974	29%
Fiscal Charges	61-5-110-8930	0	0	0.00	0.00	0	0%
Bond Issuance Costs	61-5-110-9031	0	0	0.00	0.00	0	0%
TOTAL Uses		553,992	546,592	0.00	61,875.83	538,592	11%
Ending Cash & Investments		122,163	130,895		135,175.10	135,680.00	

Gross Revenues (excludes set asides)	6,315,925	6,579,319	605,776.22	1,923,659.19	5,706,801
Gross Expenditures (excludes set asides)	6,951,667	8,852,199	569,732.88	1,813,803.14	6,043,633
NET CASH FLOW	(635,742)	(2,272,882)	36,043.34	109,856.05	(336,832)

CITY-COUNTY COORDINATING COMMITTEE

MINUTES

July 11, 2018 at 6:00 P.M.

County Board Room, 1212 Logan Avenue

CALL TO ORDER

The meeting of the City-County Coordinating Committee was called to order by Dan Snow Co-Chairman at 7:20 P.M.

ROLL CALL

County:

Cathy Ward, Co-Chairman
Carl Larson, Vice Co-Chair
Sherry Branson
Jeffrey Carlisle
Brad Stark

City:

Dan Snow, Co-Chairman
Wendy Frank, Vice Co-Chair
Marsha Freeman
Clayton Stevens

Others:

Ken Terrinoni
Dan Streed
Pat Molloy

Members Absent:

County:

Karl Johnson, Board Chairman

City:

Mayor Chamberlain
Mike Borowicz

APPROVAL OF MINUTES

A motion was made by Jeffrey Carlisle to approve the minutes of the June 13, 2018 meeting as presented. Motion seconded by Brad Stark. Motion passed (9-0).

APPROVAL OF AGENDA

A motion was made by Jeffrey Carlisle to approve the agenda as presented. Motion seconded by Brad Stark. Motion passed (9-0).

PUBLIC COMMENT

PUBLIC COMMENT

There was no public comment made.

E-911 REPORT – PUBLIC SAFETY BUILDING

911 REPORT

Lt. Molloy reviewed the 911 report with the committee. Tabatha will be completing her first year in August and is working out excellently. Valarie is in her fourth month and is ahead of training. Pam is three weeks in and everything is going well. There will be a dispatcher going on maternity leave and will create overtime. There was a new window installed and is working out great. The blacktop project is almost complete. Ceroni Piping has been working on an HVAC problem and Mr. Molloy discussed this with the committee. Discussion was held with the committee. There are 16 dispatchers employed.

GIS

There was no report given.

LANDFILL

The County has signed the lease with TerraNavigator for the solar project on the landfill. Mr. Terrinoni discussed this project with the committee. It could take several months before TerraNavigator knows if they have a viable solar project at the landfill. Everything has been done by the County at this time.

APPROVAL OF INVOICE: TRC

A motion was made by Sherry Branson to approve invoice #291528 from TRC in the amount of \$4,228.04 with a 50/50 split between the City and County. Motion seconded by Brad Stark. Motion passed (9-0).

APPROVAL OF WILSON ELECTRIC COMPANY

A motion was made by Sherry Branson to approve invoice #71256 from Wilson Electric in the amount of \$650.00 with a 50/50 split between the City and County. Motion seconded by Cathy Ward. Motion passed (9-0).

ILLINOIS EPA/LANDFILL COMMUNICATION

Mr. Terrinoni discussed a meeting he recently attended with the IEPA & TRC pertaining to alleviating some of the groundwater testing requirements. There is a potential savings of \$3,000 annually as the result of that meeting. There are some additional questions that will still need to be addressed which could result in additional savings. Of the \$8,000 appropriated \$6,000 has been spent. The balance will also be spent. There was discussion held by the committee. There will be further discussion with the City and attorney before moving forward. There was discussion held in regards to the IEPA opinion on the solar project. Ken reported that according to the IEPA Boone County is the only county to ask for the IEPA's opinion on this type of project. Cathy Ward asked for an update on the planting of trees. Mr. Carlisle responded.

INFORMATIONAL ITEMS AND OTHER BUSINESS

WATER PRESERVATION AND PROTECTION ALLIANCE (WPPA)/BLACKHAWK HILLS WATER SURVEY

Ms. Branson said progress is being made at a very slow pace. There is participation in the Blackhawk Hills Water Survey and also the County's Comprehensive Plan which Ms. Branson discussed.

INVITATION TO OTHER GOVERNMENTS

Cathy Ward discussed possible speakers to attend the meeting. This could include possible surrounding Counties. Mr. Carter from CAA will be at the next meeting to speak to the committee.

CORRESPONDENCE

There was no correspondence discussed.

EXECUTIVE SESSION

There was no executive session held.

ADJOURNMENT

ADJOURN THE MEETING

A motion was made by Sherry Branson to adjourn the meeting. Motion seconded by Jeffrey Carlisle. Motion passed (9-0). Meeting was adjourned at 7:38 p.m.

Recorded by,

Julaine Drake
Office Manager



14 Gabriel Drive
 Augusta, ME 04330
 207-620-3800

INVOICE

PLEASE REMIT TO:
 TRC Lockbox
 P. O. Box 536282
 Pittsburgh, PA 15253-5904

Kenneth Terrinoni
 Boone County
 County Administrator
 1212 Logan Avenue Suite 102
 Belvidere, IL 61008

June 29, 2018
 Project No: 225096.0004.0000
 Invoice No: 291528
 Project Manager Curtis Madsen

Project 225096.0004.0000 Boone: 2018 Annual Services

Invoice sent via email only:
 To: JDrake@Boonecountyil.org
 cc: ktboone@boonecountyil.org

Professional Services from May 26, 2018 to June 22, 2018

TRC Personnel

	Hours	Rate	Amount	
Senior Project Technical II	4.75	178.79	849.26	
Senior Project Administration	4.75	86.09	408.93	
Consult/PM/Tech Mgmt II	13.50	194.24	2,622.24	
Total	23.00		3,880.43	3,880.43

Field Expenses

Reimb/Non-Sub-Meals				
6/7/2018	QUINN KENNETH J	MEALS - OUT OF OFFICE- MACDONALDS-IEPA MT	7.67	
6/7/2018	QUINN KENNETH J	MEALS - OUT OF OFFICE-RIO GRANDE-IEPA MT	29.56	
Reimb/Non-Sub-Mileage				
6/7/2018	QUINN KENNETH J	MILEAGE-IEPA MTG	307.93	
Reimb/Non-Sub-Other Travel Costs				
6/7/2018	QUINN KENNETH J	TOLLS-ILLINOIS TOLLWAY- IEPA MTG	2.45	
Total Field Expenses			347.61	347.61
			Total this Invoice	\$4,228.04



113 South Madison Street
Rockford, Illinois 61104

815-963-0431
FAX 815-963-0435

Customer ID 2353

KEN TERRINONI
BOONE COUNTY
1212 LOGAN AVENUE
BELVIDERE, IL 61008

Invoice# 71256

Date 06/21/2018 **Page#** 1

Job ID 10000613
BOONE COUNTY LANDFILL
9794 FAIRGROUNDS
BELVIDERE, IL

Phone (815)547-4770 **Fax** (815) -

Description	Total
ELECTRICAL SERVICES	\$650.00
ADJUSTED DISCONNECT ON CABINET. MECHANISM WOULDN'T RESET THE BREAKER ON THE BLOWER. TESTED OPERATION OF LECHATE PUMPS. ADJUSTED THE POSITION OF THE FLAME SENSORS IN THE FLARE.	
Net Amount Due	\$650.00

RECEIVED
6/25/18

Invoice due within 30 days of its date. Finance charges at 1.5% /mo, which is 18% /annum, will accrue 30 days after this invoice date.

**CITY OF BELVIDERE
PLANNING AND ZONING COMMISSION**

Minutes

Tuesday, September 11, 2018

City Council Chambers

401 Whitney Boulevard

6:00 pm

ROLL CALL

Members Present:

Alissa Maher, CHM
Daniel Arevalo, VCHM
Robert Cantrell
Andrew Racz
Art Hyland
Paul Engelman

Staff Present:

Gina DelRose, Community Development Planner
Cathy Crawford, Administrative Assistant
Michael Drella, City Attorney

Chairman Alissa Maher called the meeting to order at 6:00 p.m.

MINUTES: It was moved and seconded (Cantrell/Hyland) to approve the minutes of August 14, 2018. The motion carried with a 6-0 roll call vote.

PUBLIC COMMENT: None

UNFINISHED BUSINESS: None

NEW BUSINESS:

2018-23; City of Belvidere (TA): The City of Belvidere, 401 Whitney Boulevard, Belvidere, IL 61008 is requesting a text amendment to the City of Belvidere Zoning Ordinance (Chapter 150 as amended) pertaining to Sections 150.013 Definitions, 150.105 (C)(1)(B) Neighborhood Office, 150.105(C)(2)(B) Planned Office, 150.105 (C)(3)(B) Neighborhood Business, 150.105 (C)(4)(B) Planned Business, 150.105 (C)(5)(B) General Business, 150.105 (C)(6)(B) Central Business, 150.105 (C)(7)(B) Planned Industrial, 150.105 (C)(8)(B) General Industrial, 150.105 (C)(9)(B) Heavy Industrial, 150.105 (D)(1)(B) Institutional, 150.105 (E)(1)(B) Planned Mixed Use-1, 150.105 (E)(2)(B) Planned Mixed Use-2, 150.105 (E)(3)(B) Planned Mixed Use-4, 150.105 (E)(4)(B) Corporate Center, 150.105 (E)(5)(B) Technology Center, 150.204 (G)(5) Small Wireless Facility and Section 150.902 Amendment of Zoning Regulations (Text Amendments).

The public hearing opened at 6:02 p.m.

Gina DelRose was sworn in and summarized the staff report dated September 4, 2018. The State of Illinois passed Public Act 100-0585 regulating Small Wireless Facilities Deployment. This act allows for the construction of small wireless facilities (small-sized cell phone towers) in the public right-of-way and on non-residentially

zoned property. The act allows for municipalities to place certain regulations on these towers. The regulations need to be adopted by ordinance. Without these regulations, the Public Act allows for the facilities to be placed anywhere in the city. Ms. DelRose stated that the city recently passed an ordinance that provides for the allowable regulations in the public right-of-way. The proposed text amendment further regulates these small wireless facilities by allowing for them to be constructed on non-residentially zoned private property. Without such regulations in place, the technology companies could place the facilities anywhere and in whatever manner they wished.

Paul Engelman asked how many small wireless facilities are currently in place in Belvidere.

Gina DelRose stated there are none.

Attorney Drella explained that the City of Belvidere recently passed Ordinance 414H which provides for the small wireless facilities to be constructed in the public right-of-way. Mr. Drella stated that the facilities were designed to expand the next level of wireless technology and will eliminate the need for technology companies to purchase and maintain parcels in order to construct large towers. Mr. Drella stated the State of Illinois said the towers must be allowed in the right-of-way and must be allowed on utility poles, whether owned by the city or a utility. Mr. Drella explained that for small wireless facilities that are attached to a city-owned pole or other structure such as a stoplight, the City of Belvidere may charge a small "rent" for its placement from the technology company that installed it. Minimal zoning controls were allowed by the act, such as setbacks.

Robert Cantrell asked how many are allowed in the city.

Attorney Drella said the number is not limited. Mr. Drella clarified the technology further.

Paul Engelman asked if the language is crafted to be as restrictive as possible under the present law.

Attorney Drella stated that the technology provides better wireless service and access to a municipality's constituents; at this point more prohibitive restrictions may not be what the City would want.

Robert Cantrell asked if it is correct that the facilities would not be placed in a row like "telephone poles" on a roadside.

Attorney Drella said no.

Gina DelRose described the small wireless facilities as a small tower with a small-sized utility box at its base.

Andy Racz clarified that the technology is quite new.

Mike Drella said that is correct. Mr. Drella indicated he has spoken with other municipalities regarding their regulations of the small wireless facilities.

The public hearing was closed at 6:12 p.m.

It was moved and seconded (Racz/Hyland) to approve case 2018-23. The motion carried with a 6-0 roll call vote.

2018-24; Becknell Services, LLC (SU): The applicant, Becknell Services, LLC, 4242 South First Avenue, Suite D, Lyons, IL 60534 on behalf of the owner, 675 Corporate Parkway Becknell Investors LLC is requesting a special use for accessory outdoor storage on the south and east sides of the building at 675 Corporate Parkway within the PI, Planned Industrial District pursuant to the Belvidere Zoning Ordinance Sections 150.105 (C)(7)(C)(2) Outdoor Storage and 150.904 Special Use Review and Approval Procedures. PIN: 07-01-201-014

The public hearing opened at 6:14 p.m.

Gina DelRose was sworn in and summarized the staff report dated September 4, 2018. The case was published in the Boone County Journal on August 24, 2018 and certified mailings were sent on August 21, 2018. Ms. DelRose provided a history of Sager Corporate Park and the construction of Magna Exteriors at 675 Corporate Parkway. Due to the success of the company, an estimated employment figure of 460 employees has become almost 1,000 employees. This expansion has caused a significant parking issue at the facility which is being addressed by the addition of 226 more parking spaces. That construction is now underway. Stormwater detention has been increased to accommodate the additional parking and the proposed outdoor storage areas.

Magna has outgrown the available outdoor storage originally provided and are requesting three additional separate outdoor storage areas for a total of 35,750 square feet of storage. Two of the areas are proposed along Tripp Road and the third will be placed to the south of the building. All of the areas will avoid the drainage way that runs south of the property. According to the plans for outdoor storage approved in 2016, the applicant is requesting the ability to plant additional landscaping in lieu of fencing. The security fencing currently in place meets the height requirements in the zoning ordinance but will not adequately screen the storage areas, which will be 15 feet in height. Trees will provide the visual screening intended in the zoning ordinance. The storage areas proposed must be located near vehicle circulation areas; this need dictates their placement on the property.

The planning staff recommends approval of case 2018-24 subject to the following conditions:

1. Substantial compliance with the submitted site plan.
2. The outdoor storage area shall be screened by landscaping in substantial compliance with the landscape plan submitted.

There were no questions for the staff from the commissioners or the applicant.

Pastor Dudley Matties of Bible Baptist Church stated he was concerned with the proposed outdoor storage and asked if the site will continue to resemble the current site once the storage is in place.

Gina DelRose stated that the current state of the outdoor storage would be improved but the applicant will be able to address Pastor Matties' question in detail.

Jeff Linkenheld, of Arc Design Resources was sworn in. Mr. Linkenheld thanked Ms. DelRose for her report. Mr. Linkenheld gave a brief history of the Magna facility and stated the parking issue will be resolved with the additional parking now being constructed. Mr. Linkenheld admitted that the present outdoor storage situation has been haphazard and an eyesore. The proposed storage areas will be on concrete pads which are forklift-ready. Mr. Linkenheld said the storage racks will be too tall for fencing to screen them; the proposed plan will be to plant pine trees.

Andy Racz stated he did not see the need for the fencing requirement to be eliminated due to the greater safety provided by fencing as opposed to landscaping.

Jeff Linkenheld stated the fencing present at this time at the original storage area is only three-sided and does not fully enclose the areas that now exist.

Andy Racz stated he feels a fence should be present.

Paul Engelman stated he feels that such a safety decision rests with Magna; the addition of trees will be aesthetically better and is more important for the neighbors than additional fencing.

Jeff Linkenheld stated the parts that are stored are very heavy and are on concrete pads.

Robert Cantrell said that the existing fencing is only three-sided and therefore does not prevent safety issues now.

Jeff Linkenheld stated that if Magna decided there was a safety issue at a later date, they could make the decision to fence the proposed storage areas.

Andy Racz asked why the fencing is only three-sided.

Gina DelRose stated the fourth side is a gate which is open to allow for vehicle passage.

Andy Racz repeated his concerns.

Pastor Dudley Matties was sworn in. Pastor Matties presented photos to the commissioners. These photos showed the presence of trash and full racks of products. Pastor Matties stated he feels the site is an eyesore.

Gina DelRose said that as it is currently configured, the existing outdoor storage is unpleasant-looking. Ms. DelRose said the special use will allow Magna to store its product in the three proposed areas and will improve the look of the property. Additional fencing will not screen the storage from view.

Pastor Matties stated the trees will not be tall enough to screen the area either.

Andy Racz said that there must be a combination of safety and aesthetics.

Pastor Matties said the church is in favor of business, but does not like the eyesore that is present.

Jeff Linkenheld stressed that Magna has been more successful than they had expected; the proposed storage will correct the problems now present. The proposed storage areas will be placed further from sight of the church.

Paul Engelman asked if the landscaping is required to be of a certain height when it is planted.

Gina DelRose stated the Zoning Ordinance requires coniferous trees to be a minimum of six feet tall.

The public hearing was closed at 6:40 p.m.

It was moved and seconded (Engelman/Cantrell) to accept the findings of fact as presented in the staff report. The motion carried with a 6-0 roll call vote.

It was moved and seconded (Racz/Cantrell) to approve case 2018-24.

It was moved and seconded (Racz/Cantrell) to amend the conditions for approval to add a requirement for fencing around the proposed outdoor storage areas.

Andy Racz stated he feels fencing is appropriate and that pine trees will not inhibit people from entering the proposed storage areas.

Robert Cantrell stated he feels additional fencing will prevent trash from blowing off the property and onto other properties.

Paul Engelman asked if Mr. Racz wished the applicant to provide a fully fenced space around the outdoor storage.

Andy Racz stated he felt the fencing should be whatever the Zoning Ordinance requires.

Attorney Drella stated the Zoning Ordinance does not require full fencing around the storage areas.

Paul Engelman said the intent is for screening, not for security; unless it is required to be fully fenced, the amendment proposed by Mr. Racz changes the intent of the requirement.

Gina DelRose quoted Section 150.204 (E)(2)(A)(1) of the Zoning Ordinance. Ms. DelRose clarified that the requirement is meant for screening purposes.

There was a discussion regarding fencing.

Daniel Arevalo stated he feels the site will have people present at all times; due to this fact, additional fencing will not be required. Mr. Arevalo said he feels that if the company feels the storage areas are not safe, they can decide to add more fencing.

The motion to amend the conditions of approval failed with a 1-5 roll call vote. Commissioners Cantrell, Hyland, Engelman, Arevalo and Maier voted no.

Case 2018-24 as presented was approved with a 6-0 roll call vote.

Gina DelRose stated the case will go before the City Council for a first reading on September 17, 2018 and a second reading and final vote on October 1, 2018.

2018-25; Sager Corporate Park, Plat 5 (RP): The applicant, Jack Pease, is requesting approval of Final Plat 5 (a replat of two lots) of the Sager Corporate Park Subdivision.

Gina DelRose summarized the staff report dated September 5, 2018. Ms. DelRose stated the applicant is requesting final plat approval of Plat 5 of Sager Corporate Park Subdivision. The plat is a replat of Lot 2 of Plat 3 and Lot 3 of Plat 1. Plat 5 consists of 10 lots comprised of 11.18 acres. Ms. DelRose gave a history of the

property and stated that the proposed replat has the same intention as a special use for a planned development approved in 2005 and never enacted. A request for comments was sent to 17 departments, agencies and other parties. Comments received were incorporated into the recommended conditions for approval. Ms. DelRose stated the planning staff recommends approval of case 2018-25 subject to 31 conditions (as outlined in the staff report):

1. The title of the plat shall be corrected to "Plat 5 of Sager Corporate Park. Being a Replat of Lot 2 of Plat 3 Sager Corporate Park and Lot 3 of Plat 1 Sager Corporate Park..." This shall be corrected on Sheets 1 and 2 and the Surveyor's Certificate.
2. The lots shall be renumbered Lots 1 through 10.
3. Building setback lines shall be shown on all lots.
4. Note 1 shall be amended to read "No additional access points shall be allowed along Chrysler Drive and Grant Highway (U.S. Route 20) for the subdivision.
5. Note 2 shall be removed.
6. Language regarding the 35-foot wide cross access easement shall be added as a note or granted by a separate document. If granted by a separate document, then the document number shall be provided on the plat.
7. Language describing the 12-foot access easement along Lot 2 shall be added to the plat.
8. Sidewalks are required to be installed along all public right-of-ways adjacent to this plat.
9. Note 1 under the Easement Provisions shall include "natural gas" in the fourth line when referencing telephone, electric, and other services or cable television.
10. Dimensions showing the location and size of the sanitary sewer easement between Lots 2 through 7 shall be added.
11. Dimensions showing the location of the sanitary sewer easement along the west line of Lot 7 shall be added.
12. Dimensions showing the location of the sanitary sewer easement along the eastern line of Lots 9 through 11 shall be added. This easement shall be labeled as well.

13. The symbol for the cross access easement shall match the symbol on the legend.
14. The IDOT Certificate shall read: This Plat has been approved by the Illinois Department of Transportation with respect to roadway access pursuant to 765 ILCS 205/2. However, a Permit for access issued by the Department is required by the owner of the property. A plan meeting the requirements contained in the Department's "Policy on Permits for Access Driveways to State Highways" will be required by the Department.
Dated this _____ day of _____, A.D., 20 ____
Region Two Engineer _____
15. A drainage overlay shall be submitted for review and approval prior to the recording of the final plat.
16. A note shall be added stating that hard surface access must be provided for the sanitary sewer extensions shown outside the public right-of-way.
17. All lots shown on the final plat must have sanitary sewer and water service stubs to the property line in accordance with the City subdivision standards.
18. The plat shall include easement provisions for the sanitary sewer and storm sewer easements shown.
19. All public improvements shall be completed in accordance with approved construction plans for the development.
20. A Performance Bond or Letter of Credit is required for all public improvements on forms provided by the City and must be submitted prior to recording the Final Plat or approval and release of the construction plans for the development by the Director of Public Works.
21. A construction inspection fee in the amount of three percent of the approved engineer's estimate of cost for the public improvements must be paid to the City Clerk prior to approval and release of the construction plans for the development by the Director of Public Works.
22. Prior to approval of the Final Plat, the developer shall pay all normal, customary, and standard permit, inspection, tap-on, connection, recapture, basin and other fees that are required by the City at the time of Final Plat submittal.

23. The elevations shown for the proposed items in the Sanitary Sewer Legend (Utility and Existing Conditions Exhibit) shall be corrected. They are 100 feet higher than the contours depict.
24. The elevations shown for the rim of Prop. Sanitary Manhole 2 (Utility and Existing Conditions Exhibit) shall be corrected. They are 100 feet higher than the contours depict.
25. Dimensions and coordinates shall be provided for all proposed items on the Utility and Existing Conditions Exhibit.
26. The 10-foot storm sewer easement shown on the Utility and Existing Conditions Exhibit shall be widened to 20 feet.
27. Information shall be provided showing how the proposed storm sewer and sanitary sewer (as shown on the Utility and Existing Conditions Exhibit) will be installed across Keene Parkway. If they are to be open cut, information on the pavement patches and repairs to the curb and gutter shall be included in the information.
28. Information shall be provided showing the installation methods and required repairs to Corporate Parkway and Keene Parkway regarding connections and extensions made to the existing water main.
29. The revised plat shall be presented to the planning department for review and approval before any signatures are obtained.
30. The plat shall be recorded with the County Recorder of Deeds within 90 days of City Council approval, unless a plat-recording extension is granted.
31. The final plat shall be in compliance with all applicable codes, ordinances and agreements.

Gina DelRose stated the staff and city would be working with the applicant and their engineer on compliance with the conditions for approval. Ms. DelRose stated that none of the comments or conditions change the layout or dimensions of the property as proposed.

It was moved and seconded (Cantrell/ Hyland) to approve case 2018-25 subject to the 31 conditions as presented in the staff report. The motion carried with a 6-0 roll call vote.

2018-26; State Street Gaming, LLC (SU): The applicant, State Street Gaming, LLC, 8859 Olson Road, Belvidere, IL 61008 on behalf of the property owner Logan Avenue Properties LLC, 8859 Olson Road, Belvidere, IL 61008 is requesting a

special use for indoor commercial entertainment to operate a bar with video gaming at 2195 North State Street within the PB, Planned Business District (Belvidere Zoning Ordinance Sections 150.105 (C)(4)(B)(2) Indoor Commercial Entertainment and 150.904 Special Use Review and Approval Procedures). PIN: 05-22-403-002

The public hearing opened at 6:55 p.m.

Gina DelRose was sworn in. Ms. DelRose summarized the staff report dated September 5, 2018. The case was published in the Boone County Journal on August 24, 2018. Certified mailings were sent on August 21, 2018. Ms. DelRose said the proposed special use is located at the former Sonic Drive-in Restaurant. The restaurant officially closed in 2015 and has been vacant since that time. The applicant intends to remodel the interior of the building and add five gaming machines, a bar with seating and a small seating area in the front. The existing kitchen space is not intended to be utilized. Consumption of alcohol cannot occur outside on the outdoor patio without a special use for outdoor commercial entertainment (per Section 150.204 (l)(11) of the Belvidere Zoning Ordinance.

Ms. DelRose stated that in 2013, Belvidere voted to allow video gaming and in 2018 the City Council voted to limit the number of gaming establishments to 30. The proposed special use would permit the 32nd such establishment; only 21 establishments, however, are in operation at this time, leaving nine sets of licenses available. Gina DelRose stated there are some establishments with approved special uses, who, for various reasons, have not opened their businesses. The remaining video gaming licenses will be approved as a "first-come-first-served" basis.

The planning staff recommends approval of case 2018-26 subject to the following condition:

1. Alcohol is prohibited outside the premises unless a special use permit for outdoor commercial entertainment is obtained.

Paul Engelman asked for clarification regarding the allowable number of licenses for video gaming and the number of existing video gaming establishments.

Gina DelRose clarified this information and gave an example of a special use permit that did not result in a video gaming establishment when the business changed hands. Ms. DelRose stated 37 special uses were applied for; of those, five were either denied or have expired. This leaves 32 approved sites, two of which are inactive and will soon expire.

Attorney Drella explained that the special use permits are not for video gaming per se, but are for indoor commercial entertainment which, in addition to video gaming, could include arcade games, bars, pool tables and other uses. This is the reason

the limit was placed on the number of gaming licenses, rather than the number of special use permits for indoor commercial entertainment.

Andy Racz asked if the liquor license fee was prohibiting applicants from opening their video gaming parlors.

Gina DelRose stated that there were various reasons for some of the approved special uses not opening.

Paul Engelman asked if it is correct to state that if all of the special uses approved open video gaming establishments, the number of such establishments could be more than 30.

Gina DelRose stated that she has been very honest with the applicants regarding the fact that a special use might be approved, but the number of gaming licenses is limited to 30.

Paul Engelman asked the cost of a special use for indoor commercial entertainment.

Gina DelRose stated a special use application can range from \$700 and \$1,000; the state and city licensing fees are a separate cost.

Paul Engelman asked if the City realizes revenue from video gaming.

Mike Drella said the breakdown is roughly one third of the revenue to the property owner, one third to the companies which own the gaming machines, and the State of Illinois gets one third of the revenue. Of that one third to the state, the City of Belvidere receives one fifth of that revenue.

George Sabino was sworn in. Mr. Sabino said he feels the vacant site has been an eyesore for the city since Sonic Drive-In shut down; developing the vacant restaurant site will be a good thing for the city. Mr. Sabino stated his establishment will be a high quality establishment.

The public hearing was closed at 7:12 p.m.

It was moved and seconded (Cantrell/Hyland) to accept the findings of fact as presented. The motion carried with a 6-0 roll call vote.

It was moved and seconded (Racz/Cantrell) to approve case 2018-26 subject to the condition as presented. The case was approved with a 6-0 roll call vote.

OTHER BUSINESS: None

DISCUSSION: None

Staff Report:

In answer to a question from the commission, Gina DelRose stated the Aldi grocery store will be doing an expansion but have not received building permits at this time. Ms. DelRose stated that RP Lumber is currently demolishing interior portions of the vacant Kmart location and will be applying for building permits soon. Ms. DelRose said that there will be one case before the Commission in October, 2018; that case will be a request for special use by the Plote Quarry.

ADJOURNMENT:

The meeting adjourned at 7:15 p.m.

Recorded by:

Cathy Crawford
Administrative Assistant

Reviewed by:

Gina DelRose
Community Development Planner

Minutes
Committee of the Whole
Building, Planning, Zoning and Public Works
September 10, 2018
6:00 p.m.

Call to Order – Mayor Chamberlain:

Roll Call: Present: G. Crawford, W. Frank, M. Freeman, T. Porter,
D. Snow and C. Stevens.
Absent: M. Borowicz, R. Brooks, T. Ratcliffe and M. Sanderson.

Department Heads and City personnel in attendance:
Budget and Finance Director Becky Tobin, Public Works Director Brent Anderson,
Community Development Planner Gina DelRose, Police Chief Woody, City Attorney
Drella and City Clerk Arco.

Public Comment:

Public Forum: None.

Reports of Officers, Boards and Special Committees:

1. Building, Planning and Zoning, Unfinished Business: None.
2. Building, Planning and Zoning, New Business:
(A) Extension of Special Use – 600 Logan Avenue.

Motion by Ald. Snow, 2nd by Ald. Crawford to forward a resolution to city council extending the special use permit for 600 Logan Avenue. Aye voice vote carried. Motion carried.

(B) Local Landmark Designation – 527 Pearl Street (Hotchkiss House).

Motion by Ald. Crawford, 2nd by Ald. Snow to forward in ordinance form the approval of Local Landmark Designation for 527 Pearl Street (Hotchkiss House). Aye voice vote carried. Motion carried.

3. Public Works, Unfinished Business: None.
4. Public Works, New Business:
(A) WWTP Sludge Thickening Project – Change Order #2.

Motion by Ald. Snow, 2nd by Ald. Porter to approve Change Order #2 for the WWTP Sludge Thickening Project in the amount of \$74,686. This work will be paid from the Sewer Depreciation Fund. Aye voice vote carried. Motion carried.

5. Adjournment:

Motion by Ald. Crawford, 2nd by Ald. Porter to adjourn meeting at 6:45 p.m.
Aye voice vote carried. Motion carried.

_____ Mayor

Attest: _____ City Clerk

ORDINANCE 424H

**AN ORDINANCE DESIGNATING A LANDMARK
TO THE LOCAL HISTORIC REGISTER
HOTCHKISS HOUSE
(527 Pearl Street)**

WHEREAS, a written application has been made by Kathleen Clanin Brodhacker (applicant and owner) to obtain Landmark Designation pursuant to applicable provisions of Chapter 58 of the Belvidere Municipal Code of the City of Belvidere, Illinois; and,

WHEREAS, the Planning Department prepared a written opinion as to the effect of the proposed designation on the surrounding neighborhood, the relationship of the proposal to the official comprehensive plan with a recommendation for approval of the landmark designation; and

WHEREAS, the notice of the public hearing for the Landmark Designation was published in a newspaper of general circulation that is distributed within the City of Belvidere in accordance with Section 58-62 (c) (1); and,

WHEREAS, after due notice the Belvidere Historic Preservation Commission held a public hearing on August 28, 2018 to consider the Landmark Designation and has transmitted its findings of fact and recommendation on the matter to the City Council; and,

WHEREAS, the Belvidere Historic Preservation Commission has found that the Hotchkiss House at 527 Pearl Street meets criteria of Section 58-61 as the structure has character, interest and value as part of the development and heritage of the City of Belvidere; it is identified with people who significantly contributed to the development of the City (Hotchkiss, Ames, Goodrich, etc.) and it embodies elements of design and craftsmanship that make it architecturally significant; and the structure is suitable for preservation.

WHEREAS, the City Council has considered the Belvidere Historic Preservation Commission's findings of fact and recommendation.

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELVIDERE, ILLINOIS, AS FOLLOWS:

Section 1. The structure known as the Hotchkiss House at 527 Pearl Street, Belvidere, Illinois and legally described as:

Lot Number (1) and the East Two (2) Rods of Lot Number Two (2) in Block Number (1) in Nijah Hotchkiss First Addition to the town of Belvidere, situated in the City of Belvidere, Boone County, Illinois; PIN: 05-35-232-027 is hereby designated a Belvidere Landmark.

Section 2. A copy of the ordinance designating 527 Pearl Street a Belvidere Landmark shall be forwarded to the planning department, the building department and to the owners of the designated property; a copy shall also be recorded with the County Recorders of Deeds.

Section 3. The Belvidere Historic Preservation Commission is directed to comply with the provision of Chapter 58, Article IV, Certificate of Appropriateness.

Section 4. This Ordinance shall be in full force and effect from and after its passage, approval and publication in the pamphlet form as provided by law.

Section 5. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

Section 6. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

PASSED by the City Council of the City of Belvidere this _____ day of _____ 2018.

APPROVED by the Mayor of the City of Belvidere this _____ day of _____ 2018.

Michael W. Chamberlain, Mayor

ATTEST:

Shauna Arco, City Clerk

ORDINANCE # 425H

**AN ORDINANCE AMENDING CHAPTER 150,
ZONING ORDINANCE, OF THE MUNICIPAL CODE
(Small Wireless Facility)**

WHEREAS, the City of Belvidere has adopted Chapter 150 (Zoning Ordinance) of the Belvidere Municipal Code pursuant to the Illinois Compiled Statutes to establish and set forth regulations pertaining to the use and development of land, buildings and structures in the City; and,

WHEREAS, it is necessary and desirable to periodically amend the Zoning Ordinance in response to changes in technology, business and development practices, community standards and to improve administration and enforcement procedures; and,

WHEREAS, after due notice, the Planning and Zoning Commission held a public hearing to consider an amendment of the Zoning Ordinance on September 11, 2018 and has transmitted its recommendation on the matter to the City Council; and,

WHEREAS, the City Council has considered the Planning and Zoning Commission's recommendation.

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELVIDERE, BOONE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. That Section 150.013: Definitions, be and is hereby amended, to read as follows:

§150.013: Definitions

Skylight...

Small wireless facility: See §§ 150.204(G)(6)

Wireless facility: Equipment at a fixed location that enables wireless communications between user equipment and a communications network, including: (i) equipment associated with wireless communications; and (ii) radio transceivers, antennas, coaxial or fiber-optic cable, regular and backup power supplies, and comparable equipment, regardless of technological configuration. Wireless facility includes small wireless facilities. Wireless facility does not include: (i) the structure or improvements on, under, or within which the equipment is collocated; or (ii) wireline backhaul facilities, coaxial or fiber optic cable that is between wireless support structures or utility poles or coaxial, or fiber optic cable that is otherwise not immediately adjacent to or directly associated with an antenna.

Wireless support structure: A freestanding structure, such as a monopole; tower, either guyed or self-supporting; billboard; or other existing or proposed structure designed to support or capable of supporting wireless facilities. Wireless support structure does not include a utility pole.

Solid fence...

Section 2. That Section 150.105(C)(1)(B): Neighborhood Office District, be and is hereby amended, to read as follows:

§150.105(C): Nonresidential Districts

(1) Neighborhood Office (NO) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Single-Family
Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Small Wireless Facility

B2. Permitted as Special Use

Twin House/Duplex
Two-Flat
Townhouse (3 or 4 unit building)
Multiplex (3 or 4 unit building)
Apartment (3 or 4 unit building)
Institutional Residential
Clear Cutting
Indoor Sales or Service
Indoor Commercial Entertainment
Bed and Breakfast Establishments
Day care center (3+ children)
Boarding House
Artisan Studio

Section 3. That Section 150.105(C)(2)(B): Planned Office District, be and is hereby amended, to read as follows:

§150.105(C): Nonresidential Districts

(2) Planned Office (PO) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Indoor Sales or Service
Indoor Commercial Entertainment
Commercial Indoor Lodging
Day care center (3+ children)
Artisan Studio
Airport/Heliport

Section 4. That Section 150.105(C)(3)(B): Neighborhood Business District, be and is hereby amended, to read as follows:

§150.105(C): Nonresidential Districts

(3) Neighborhood Business (NB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Single-Family
Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Indoor Maintenance Service
Small Wireless Facility

B2. Permitted as Special Use

Twin House/Duplex
Two-Flat
Townhouse (3 or 4 unit building)
Multiplex (3 or 4 unit building)
Apartment (3 or 4 unit building)
Institutional Residential
Clear Cutting
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Bed and Breakfast Establishments
Day care center (3+ children)
Boarding House
Artisan Studio

Section 5. That Section 150.105(C)(4)(B): Planned Business District, be and is hereby amended, to read as follows:

§150.105(C): Nonresidential Districts

(4) Planned Business (PB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Indoor Maintenance Service
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Outdoor Display
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Outdoor Commercial Entertainment
Commercial Animal Boarding
Commercial Indoor Lodging
Bed and Breakfast Establishments
Day care center (3+ children)
Vehicle Repair and Maintenance
Artisan Studio/Production Shop
Large-scale Development
Shooting Range

Section 6. That Section 150.105(C)(5)(B): General Business District, be and is hereby amended, to read as follows:

§150.105(C): Nonresidential Districts

(5) General Business (GB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Indoor Maintenance Service
Off-Site Parking Lot
Small Wireless Facility

B2. Permitted as Special Use

Artisan Studio/Production Shop
Boarding House
Clear Cutting
Commercial Animal Boarding
Outdoor Display
Personal Storage Facility
Large-scale Development
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Outdoor Commercial Entertainment
Commercial Indoor Lodging
Bed and Breakfast Establishments
Day care center (3+ children)
Vehicle Repair and Maintenance
Shooting Range

Section 7. That Section 150.105(C)(6)(B): Central Business District, be and is hereby amended, to read as follows:

§150.105(C): Nonresidential Districts

(6) Central Business (CB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Indoor Maintenance Service
Off-Site Parking Lot
Residential units above the first floor
Artisan Studio/Production Shop
Indoor Institutional (minor)
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Indoor Institutional (major)
Outdoor Institutional
Institutional Residential
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Outdoor Commercial Entertainment
Commercial Indoor Lodging
Bed and Breakfast Establishments
Day care center (3+ children)
Boarding House
Apartment (3 or 4 unit building)

Section 8. That Section 150.105(C)(7)(B): Planned Industrial District, be and is hereby amended, to read as follows:

§150.105(C): Nonresidential Districts

(7) Planned Industrial (PI) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Maintenance Service
Indoor Storage or Wholesaling
Light Industrial
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Indoor Commercial Entertainment
Indoor Sales or Service
Day care center (3+ children)
Artisan Studio/Production Shop
Personal Storage Facility
Airport/Heliport
Distribution Center
Communication Tower
Campground
Off-Site Parking Lot
Vehicle Repair and Maintenance
In-vehicle Sales or Service

Section 9. That Section 150.105(C)(8)(B): General Industrial District, be and is hereby amended, to read as follows:

§150.105(C): Nonresidential Districts

(8) General Industrial (GI) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Public Services and Utilities
Office
Indoor Maintenance Service
Indoor Storage or Wholesaling
Off-Site Parking Lot
Vehicle Repair and Maintenance
Personal Storage Facility
Light Industrial
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Day care center (3+ children)
Artisan Studio/Production Shop
Outdoor Storage or Wholesaling
Airport/Heliport
Freight Terminal
Communication Tower
Campground
Distribution Center
Heavy Industrial
Shooting Range

Section 10. That Section 150.105(C)(9)(B): Heavy Industrial District, be and is hereby amended, to read as follows:

§150.105(C): Nonresidential Districts

(9) Heavy Industrial (HI) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Public Services and Utilities
Office
Indoor Maintenance Service
Indoor Storage or Wholesaling
Outdoor Storage or Wholesaling
Off-Site Parking Lot
Distribution Center
Light Industrial
Heavy Industrial
Vehicle Repair and Maintenance
Small Wireless Facility

B2. Permitted as Special Use

Agricultural Services
Clear Cutting
Outdoor Maintenance Service
Sexually Oriented Land Use
Junkyard or Salvage Yard
Waste Disposal Facility
Composting Operation
Airport/Heliport
Freight Terminal
Communication Tower
Extraction Use
Shooting Range

Section 11. That Section 150.105(D)(1)(B): Institutional District, be and is hereby amended, to read as follows:

§150.105(D): Institutional District

(1) Institutional (I) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Indoor Institutional (minor)
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Day care center (3+ children)
Outdoor Institutional
Institutional Residential
Indoor Institutional (major)

Section 12. That Section 150.105(E)(1)(B): Planned Mixed Use 1, be and is hereby amended, to read as follows:

§150.105(E): Tollway Corridor Districts

(1) Planned Mixed Use 1 (PM-1) District

A. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Indoor Institutional (minor)
Office
Personal or Professional Services
Indoor Sales or Service
Day care center (3+ children)
Commercial Indoor Lodging
Indoor Maintenance Service
On-Site Parking Garage (above & underground)
Residential units above the first floor
Small Wireless Facility

2. Permitted as Special Use

Clear Cutting
Outdoor Institutional
Institutional Residential
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Outdoor Commercial Entertainment
Vehicle Repair and Maintenance
Artisan Studio/Production Shop
Commercial Animal Boarding
Off-Site Parking Lot/Garage
Indoor Institutional (major)

Section 13. That Section 150.105(E)(2)(B): Planned Mixed Use 2, be and is hereby amended, to read as follows:

§150.105(E): Tollway Corridor Districts

(2) Planned Mixed Use 2 (PM-2) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation

Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Day care center (3+ children)
Commercial Indoor Lodging
Indoor Maintenance Service
On-Site Parking Garage (above &

2. Permitted as Special Use

Clear Cutting
Outdoor Institutional
Indoor Institutional (minor and major)
Institutional Residential
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Outdoor Commercial Entertainment
Artisan Studio/Production Shop
Off-Site Parking Lot/Garage
Large Scale Developments

underground)
Residential units above the second
floor
Small Wireless Facility

Section 14. That Section 150.105(E)(3)(B): Planned Mixed Use 4, be and is hereby amended, to read as follows:

§150.105(E): Tollway Corridor Districts

(3) Planned Mixed Use 4 (PM-4) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

Cultivation
Selective Cutting

Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Day care center (3+ children)
Office
Personal or Professional Services
Indoor Sales or Service
Commercial Indoor Lodging
Indoor Maintenance Service
On-Site Parking Garage (above &
underground)
Residential units above the third floor
Small Wireless Facility

2. Permitted as Special Use

Clear Cutting
Indoor Institutional (minor and
major)
Institutional Residential
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Commercial Indoor Lodging
Artisan Studio/Production Shop
Commercial Animal Boarding
Off-Site Parking Lot/Garage
Large-scale Development

Section 15. That Section 150.105(E)(4)(B): Corporate Center, be and is hereby amended, to read as follows:

§150.105(E): Tollway Corridor Districts

(4) Corporate Center (CC) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation

Active Outdoor Public Recreation

2. Permitted as Special Use

Clear Cutting
Outdoor Institutional
Indoor Institutional (minor and
major)
Large Scale Developments

Public Services and Utilities Office On-Site Parking Garage (above & underground) Small Wireless Facility	Off-Site Parking Lot/Garage
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Section 16. That Section 150.105(E)(5)(B): Technology Center, be and is hereby amended, to read as follows:

§150.105(E): Tollway Corridor Districts

(5) Technology Center (TC) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

Cultivation
Selective Cutting

Passive Outdoor Public Recreation
Public Services and Utilities
Office
Day care center (3+ children)
On-Site Parking Garage (above &
underground)
Small Wireless Facility

2. Permitted as Special Use

Clear Cutting
Indoor Institutional (minor and
major)
Artisan Studio/Production Shop
Large Scale Developments
Distribution Center
Indoor Storage
Off-Site Parking Lot/Garage

Section 17. That Section 150.204(C)(6): Public Service and Utilities, be and is hereby amended, to read as follows:

§150.204(C)(6): Public Service and Utilities

(6) Public Service and Utilities. Public service and utilities land uses include all City, County, State and Federal facilities (except those otherwise treated in this Section), emergency service facilities such as fire departments and rescue operations, wastewater treatment plants, public and/or private utility substations, water towers, utility and public service related distribution and communication facilities, and similar land uses, except for Small Wireless Facilities. This includes any building, structure or appurtenance, open space or parcel of land owned or leased by the City, County, or State.

Section 18. That Section 150.204(G)(3): Communication Tower, be and is hereby amended, to read as follows:

§150.204(G)(3): Communication Tower

(3) Communication Tower. Communication towers include all free-standing broadcasting, receiving, or relay structures, and similar principal land uses; and any office, studio or

other land uses directly related to the function of the tower, except for Small Wireless Facilities.

Section 19. That Section 150.204(G)(5): Small Wireless Facility, be and is hereby amended, to read as follows:

§150.204(G)(6): Small Wireless Facility

(6) Small Wireless Facility. A wireless facility that meets both of the following qualifications: (i) each antenna is located inside an enclosure of no more than 6 cubic feet in volume or, in the case of an antenna that has exposed elements, the antenna and all of its exposed elements could fit within an imaginary enclosure of no more than 6 cubic feet; and (ii) all other wireless equipment attached directly to a utility pole associated with the facility is cumulatively no more than 25 cubic feet in volume. The following types of associated ancillary equipment are not included in the calculation of equipment volume: electric meter, concealment elements, telecommunications demarcation box, ground-based enclosures, grounding equipment, power transfer switch, cut-off switch, and vertical cable runs for the connection of power and other services.

A. Requirements

- (1) Small Wireless Facilities shall be located so that there is sufficient radius of clear land around the tower so that its collapse shall be completely contained on the property.
- (2) Small Wireless Facilities shall be no taller than 45 feet above ground or 10 feet taller than the tallest existing utility pole within 300 feet, whichever is taller, without a variance.

B. Parking Requirements. Not required.

Section 20. That Appendix C: Land Use Summary Chart, be and is hereby amended, to read as follows

Appendix C: Land Use Summary Chart

Tables of Land Uses (Storage/Disposal, Transportation, and Industrial)

Rural Holding (RH)	Single-Family Residential (SR-)	Single-Family Residential (SR-)	Single-Family Residential (SR-)	Two-Family Residential (TR-7)	Multi-Family (MR-8S)	Multi-Family (MR-8L)	Neighborhood Office (NO)	Planned Office (PO)	Neighborhood Business (NB)	Planned Business (PB)	General Business (GB)	Central Business (CB)	Planned Mixed Use 1 (PM 1)	Planned Mixed Use 2 (PM 2)	Planned Mixed Use 4 (PM 4)	Corporate Center (CC)	Technology Center (TC)	Planned Industrial (PI)	General Industrial (GI)	Heavy Industrial (HI)	Institutional (I)	
																						Type of Land Use
																						Storage/Disposal (150.204(E))

Rural Holding (RH)	Single-Family Residential (SR-)	Single-Family Residential (SR-)	Single-Family Residential (SR-)	Two-Family Residential (TR-7)	Multi-Family (MR-8S)	Multi-Family (MR-8L)	Neighborhood Office (NO)	Planned Office (PO)	Neighborhood Business (NB)	Planned Business (PB)	General Business (GB)	Central Business (CB)	Planned Mixed Use 1 (PM 1)	Planned Mixed Use 2 (PM 2)	Planned Mixed Use 4 (PM 4)	Corporate Center (CC)	Technology Center (TC)	Planned Industrial (PI)	General Industrial (GI)	Heavy Industrial (HI)	Institutional (I)	Type of Land Use
																	S	P	P	P		(1) Indoor Storage or Wholesaling
																		S	S	P		(2) Outdoor Storage or Wholesaling
											S		S	S	S			S	P			(3) Personal Storage Facility
																				S		(4) Junkyard or Salvage Yard
S																				S		(5) Waste Disposal Facility
S																				S		(6) Composting Operation
																						Transportation Uses (150.204(F))
S							S			P	P	S	S	S	S	S	S	S	P	P		(1) Off-Site Parking Lot
																		S	S	S		(2) Airport/Heliport
																			S	S		(3) Freight Terminal
																	S	S	S	P		(4) Distribution Center
																						Industrial Uses (150.204(G))
																	S	P	P	P		(1) Light Industrial
																	S		S	P		(2) Heavy Industrial
S																		S	S	S		(3) Communication Tower
																				S		(4) Extraction Use
S																		S	S	S		(5) Non-building mounted solar installations for export of energy for use by Public Utility
							P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	(6) Small Wireless Facility

PASSED by the City Council of the City of Belvidere this ____ day of _____, 2018.

APPROVED by the Mayor of the City of Belvidere this ____ day of _____, 2018.

Michael W. Chamberlain, Mayor

ATTEST:

Shauna Arco, City Clerk

Ayes: ____ Nays: ____ Absent ____

City Council Members Voting Aye: _____

City Council Members Voting Nay: _____

Date Published:

Sponsor: _____

MEMO

DATE: September 12, 2018
TO: Mayor and Members of the City Council
FROM: City of Belvidere Planning and Zoning Commission
SUBJECT: Recommendation for Case 2018-23; City of Belvidere

REQUEST:

The City of Belvidere, 401 Whitney Boulevard, Belvidere, IL 61008 is requesting a text amendment to the City of Belvidere Zoning Ordinance (Chapter 150 as amended) pertaining to Sections 150.013 Definitions, 150.105(C)(1)(B) Neighborhood Office, 150.105(C)(2)(B) Planned Office, 150.105(C)(3)(B) Neighborhood Business, 150.105(C)(4)(B) Planned Business, 150.105(C)(5)(B) General Business, 150.105(C)(6)(B) Central Business, 150.105(C)(7)(B) Planned Industrial, 150.105(C)(8)(B) General Industrial, 150.105(C)(9)(B) Heavy Industrial, 150.105(D)(1)(B) Institutional, 150.105(E)(1)(B) Planned Mixed Use-1, 150.105(E)(2)(B) Planned Mixed Use- 2, 150.105(E)(3)(B) Planned Mixed Use-4, 150.105(E)(4)(B) Corporate Center, 150.105(E)(5)(B) Technology Center, 150.204(C)(6) Public Service and Utilities, 150.204(G)(3) Communication Tower, 150.204(G)(5) Small Wireless Facility and Section 150.902 Amendment of Zoning Regulations (Text Amendments).

RECOMMENDATION:

The Planning and Zoning Commission motioned to approve case number 2018-23 as presented. Motion carried with a 6-0 roll call vote.

§150.013: Definitions

Small wireless facility: See §§ 150.204(G)(5)

Wireless facility: Equipment at a fixed location that enables wireless communications between user equipment and a communications network, including: (i) equipment associated with wireless communications; and (ii) radio transceivers, antennas, coaxial or fiber-optic cable, regular and backup power supplies, and comparable equipment, regardless of technological configuration. Wireless facility includes small wireless facilities. Wireless facility does not include: (i) the structure or improvements on, under, or within which the equipment is collocated; or (ii) wireline backhaul facilities, coaxial or fiber optic cable that is between wireless support structures or utility poles or coaxial, or fiber optic cable that is otherwise not immediately adjacent to or directly associated with an antenna.

Wireless support structure: A freestanding structure, such as a monopole; tower, either guyed or self-supporting; billboard; or other existing or proposed structure designed to support or capable of supporting wireless facilities. Wireless support structure does not include a utility pole.

§150.105(C): Nonresidential Districts

(1) Neighborhood Office (NO) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

- Single-Family
- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation
- Active Outdoor Public Recreation
- Public Services and Utilities
- Office
- Personal or Professional Services
- Small Wireless Facility

B2. Permitted as Special Use

- Twin House/Duplex
- Two-Flat
- Townhouse (3 or 4 unit building)
- Multiplex (3 or 4 unit building)
- Apartment (3 or 4 unit building)
- Institutional Residential
- Clear Cutting
- Indoor Sales or Service
- Indoor Commercial Entertainment
- Bed and Breakfast Establishments
- Day care center (3+ children)
- Boarding House
- Artisan Studio

(2) Planned Office (PO) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation
- Active Outdoor Public Recreation
- Public Services and Utilities
- Office
- Personal or Professional Services
- Small Wireless Facility

B2. Permitted as Special Use

- Clear Cutting
- Indoor Sales or Service
- Indoor Commercial Entertainment
- Commercial Indoor Lodging
- Day care center (3+ children)
- Artisan Studio
- Airport/Heliport

(3) Neighborhood Business (NB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

- Single-Family
- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation
- Active Outdoor Public Recreation
- Public Services and Utilities
- Office
- Personal or Professional Services
- Indoor Sales or Service

B2. Permitted as Special Use

- Twin House/Duplex
- Two-Flat
- Townhouse (3 or 4 unit building)
- Multiplex (3 or 4 unit building)
- Apartment (3 or 4 unit building)
- Institutional Residential
- Clear Cutting
- In-Vehicle Sales or Service
- Indoor Commercial Entertainment

Indoor Maintenance Service
Small Wireless Facility

Bed and Breakfast Establishments
Day care center (3+ children)
Boarding House
Artisan Studio

(4) Planned Business (PB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Indoor Maintenance Service
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Outdoor Display
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Outdoor Commercial Entertainment
Commercial Animal Boarding
Commercial Indoor Lodging
Bed and Breakfast Establishments
Day care center (3+ children)
Vehicle Repair and Maintenance
Artisan Studio/Production Shop
Large-scale Development
Shooting Range

(5) General Business (GB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Indoor Maintenance Service
Off-Site Parking Lot
Small Wireless Facility

B2. Permitted as Special Use

Artisan Studio/Production Shop
Boarding House
Clear Cutting
Commercial Animal Boarding
Outdoor Display
Personal Storage Facility
Large-scale Development
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Outdoor Commercial Entertainment
Commercial Indoor Lodging
Bed and Breakfast Establishments
Day care center (3+ children)
Vehicle Repair and Maintenance
Shooting Range

(6) Central Business (CB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation
- Active Outdoor Public Recreation
- Public Services and Utilities
- Office
- Personal or Professional Services
- Indoor Sales or Service
- Indoor Maintenance Service
- Off-Site Parking Lot
- Residential units above the first floor
- Artisan Studio/Production Shop
- Indoor Institutional (minor)
- Small Wireless Facility

B2. Permitted as Special Use

- Clear Cutting
- Indoor Institutional (major)
- Outdoor Institutional
- Institutional Residential
- In-Vehicle Sales or Service
- Indoor Commercial Entertainment
- Outdoor Commercial Entertainment
- Commercial Indoor Lodging
- Bed and Breakfast Establishments
- Day care center (3+ children)
- Boarding House
- Apartment (3 or 4 unit building)

(7) Planned Industrial (PI) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation
- Active Outdoor Public Recreation
- Public Services and Utilities
- Office
- Personal or Professional Services
- Indoor Maintenance Service
- Indoor Storage or Wholesaling
- Light Industrial
- Small Wireless Facility

B2. Permitted as Special Use

- Clear Cutting
- Indoor Commercial Entertainment
- Indoor Sales or Service
- Day care center (3+ children)
- Artisan Studio/Production Shop
- Personal Storage Facility
- Airport/Heliport
- Distribution Center
- Communication Tower
- Campground
- Off-Site Parking Lot
- Vehicle Repair and Maintenance
- In-vehicle Sales or Service

(8) General Industrial (GI) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation
- Public Services and Utilities
- Office
- Indoor Maintenance Service
- Indoor Storage or Wholesaling

B2. Permitted as Special Use

- Clear Cutting
- Day care center (3+ children)
- Artisan Studio/Production Shop
- Outdoor Storage or Wholesaling
- Airport/Heliport
- Freight Terminal
- Communication Tower

Off-Site Parking Lot
 Vehicle Repair and Maintenance
 Personal Storage Facility
 Light Industrial
Small Wireless Facility

Campground
 Distribution Center
 Heavy Industrial
 Shooting Range

(9) Heavy Industrial (HI) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
 Selective Cutting
 Passive Outdoor Public Recreation
 Public Services and Utilities
 Office
 Indoor Maintenance Service
 Indoor Storage or Wholesaling
 Outdoor Storage or Wholesaling
 Off-Site Parking Lot
 Distribution Center
 Light Industrial
 Heavy Industrial
 Vehicle Repair and Maintenance
Small Wireless Facility

B2. Permitted as Special Use

Agricultural Services
 Clear Cutting
 Outdoor Maintenance Service
 Sexually Oriented Land Use
 Junkyard or Salvage Yard
 Waste Disposal Facility
 Composting Operation
 Airport/Heliport
 Freight Terminal
 Communication Tower
 Extraction Use
 Shooting Range

§150.105(D): Institutional District

(D) Institutional District

(1) Institutional (I) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
 Selective Cutting
 Passive Outdoor Public Recreation
 Active Outdoor Public Recreation
 Public Services and Utilities
 Indoor Institutional (minor)
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
 Day care center (3+ children)
 Outdoor Institutional
 Institutional Residential
 Indoor Institutional (major)

§150.105(E): Tollway Corridor Districts

(E) Tollway Corridor Districts

(1) Planned Mixed Use 1 (PM-1) District

A. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation
- Active Outdoor Public Recreation
- Public Services and Utilities
- Indoor Institutional (minor)
- Office
- Personal or Professional Services
- Indoor Sales or Service
- Day care center (3+ children)
- Commercial Indoor Lodging
- Indoor Maintenance Service
- On-Site Parking Garage (above & underground)
- Residential units above the first floor
- Small Wireless Facility**

2. Permitted as Special Use

- Clear Cutting
- Outdoor Institutional
- Institutional Residential
- In-Vehicle Sales or Service
- Indoor Commercial Entertainment
- Outdoor Commercial Entertainment
- Vehicle Repair and Maintenance
- Artisan Studio/Production Shop
- Commercial Animal Boarding
- Off-Site Parking Lot/Garage
- Indoor Institutional (major)

(2) Planned Mixed Use 2 (PM-2) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation

- Active Outdoor Public Recreation
- Public Services and Utilities
- Office
- Personal or Professional Services
- Indoor Sales or Service
- Day care center (3+ children)
- Commercial Indoor Lodging
- Indoor Maintenance Service
- On-Site Parking Garage (above & underground)
- Residential units above the second floor
- Small Wireless Facility**

2. Permitted as Special Use

- Clear Cutting
- Outdoor Institutional
- Indoor Institutional (minor and major)
- Institutional Residential
- In-Vehicle Sales or Service
- Indoor Commercial Entertainment
- Outdoor Commercial Entertainment
- Artisan Studio/Production Shop
- Off-Site Parking Lot/Garage
- Large Scale Developments

(3) Planned Mixed Use 4 (PM-4) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

- Cultivation
- Selective Cutting

2. Permitted as Special Use

- Clear Cutting
- Indoor Institutional (minor and

Passive Outdoor Public Recreation
 Active Outdoor Public Recreation
 Public Services and Utilities
 Day care center (3+ children)
 Office
 Personal or Professional Services
 Indoor Sales or Service
 Commercial Indoor Lodging
 Indoor Maintenance Service
 On-Site Parking Garage (above & underground)
 Residential units above the third floor
Small Wireless Facility

major)
 Institutional Residential
 In-Vehicle Sales or Service
 Indoor Commercial Entertainment
 Commercial Indoor Lodging
 Artisan Studio/Production Shop
 Commercial Animal Boarding
 Off-Site Parking Lot/Garage
 Large-scale Development

(4) Corporate Center (CC) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

Cultivation
 Selective Cutting
 Passive Outdoor Public Recreation

 Active Outdoor Public Recreation
 Public Services and Utilities
 Office
 On-Site Parking Garage (above & underground)
Small Wireless Facility

2. Permitted as Special Use

Clear Cutting
 Outdoor Institutional
 Indoor Institutional (minor and major)
 Large Scale Developments
 Off-Site Parking Lot/Garage

(5) Technology Center (TC) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

Cultivation
 Selective Cutting

 Passive Outdoor Public Recreation
 Public Services and Utilities
 Office
 Day care center (3+ children)
 On-Site Parking Garage (above & underground)
Small Wireless Facility

2. Permitted as Special Use

Clear Cutting
 Indoor Institutional (minor and major)
 Artisan Studio/Production Shop
 Large Scale Developments
 Distribution Center
 Indoor Storage
 Off-Site Parking Lot/Garage

§150.204(C)(6): Public Service and Utilities

- (6) **Public Service and Utilities.** Public service and utilities land uses include all City, County, State and Federal facilities (except those otherwise treated in this Section), emergency service facilities such as fire departments and rescue operations, wastewater treatment plants, public and/or private utility substations, water towers, utility and public service related distribution and communication facilities, and similar land uses, except for Small Wireless Facilities. This includes any building, structure or appurtenance, open space or parcel of land owned or leased by the City, County, or State.

§150.204(G)(3): Communication Tower

- (3) **Communication Tower.** Communication towers include all free-standing broadcasting, receiving, or relay structures, and similar principal land uses; and any office, studio or other land uses directly related to the function of the tower, except for Small Wireless Facilities.

§150.204(G)(5): Small Wireless Facility

(5) Small Wireless Facility. A wireless facility that meets both of the following qualifications: (i) each antenna is located inside an enclosure of no more than 6 cubic feet in volume or, in the case of an antenna that has exposed elements, the antenna and all of its exposed elements could fit within an imaginary enclosure of no more than 6 cubic feet; and (ii) all other wireless equipment attached directly to a utility pole associated with the facility is cumulatively no more than 25 cubic feet in volume. The following types of associated ancillary equipment are not included in the calculation of equipment volume: electric meter, concealment elements, telecommunications demarcation box, ground-based enclosures, grounding equipment, power transfer switch, cut-off switch, and vertical cable runs for the connection of power and other services.

A. Requirements

- (1) Small Wireless Facilities shall be located so that there is sufficient radius of clear land around the tower so that its collapse shall be completely contained on the property.
- (2) Small Wireless Facilities shall be no taller than 45 feet above ground or 10 feet taller than the tallest existing utility pole within 300 feet, whichever is taller, without a variance.

B. Parking Requirements. Not required.

The methods used to show changes are:

xxxxxxxxxx = (Standard text) existing text within the zoning code; no changes proposed.

xxxxxxxxxx = (Strike through text) text that is proposed to be deleted from the zoning code.

xxxxxxxxxx = (Highlighted and underlined text) new text that is proposed to be inserted into the zoning code.

Alissa Maher, Chairman
City of Belvidere Planning and Zoning Commission

CITY OF BELVIDERE

Community Development



BUILDING DEPARTMENT

PLANNING DEPARTMENT

401 WHITNEY BLVD. SUITE 300 BELVIDERE, IL 61008 * PH (815)547-7177 FAX (815)547-0789

September 4, 2018

ADVISORY REPORT

CASE NO: 2018-23

APPLICANT: City of Belvidere

REQUEST:

The City of Belvidere, 401 Whitney Boulevard, Belvidere, IL 61008 is requesting a text amendment to the City of Belvidere Zoning Ordinance (Chapter 150 as amended) pertaining to Sections 150.013 Definitions, 150.105(C)(1)(B) Neighborhood Office, 150.105(C)(2)(B) Planned Office, 150.105(C)(3)(B) Neighborhood Business, 150.105(C)(4)(B) Planned Business, 150.105(C)(5)(B) General Business, 150.105(C)(6)(B) Central Business, 150.105(C)(7)(B) Planned Industrial, 150.105(C)(8)(B) General Industrial, 150.105(C)(9)(B) Heavy Industrial, 150.105(D)(1)(B) Institutional, 150.105(E)(1)(B) Planned Mixed Use-1, 150.105(E)(2)(B) Planned Mixed Use- 2, 150.105(E)(3)(B) Planned Mixed Use-4, 150.105(E)(4)(B) Corporate Center, 150.105(E)(5)(B) Technology Center, 150.204(C)(6) Public Service and Utilities, 150.204(G)(3) Communication Tower, 150.204(G)(5) Small Wireless Facility and Section 150.902 Amendment of Zoning Regulations (Text Amendments). The request will clarify the definition of a small wireless facility and permit them in the commercial and industrial districts. The proposed language is below.

The methods used to show changes are:

xxxxxxxxxxx = (Standard text) existing text within the zoning code; no changes proposed.

xxxxxxxxxxx = (Strike through text) text that is proposed to be deleted from the zoning code.

xxxxxxxxxxx = (Highlighted and underlined text) new text that is proposed to be inserted into the zoning code.

§150.013: Definitions

Small wireless facility: See §§ 150.204(G)(5)

Wireless facility: Equipment at a fixed location that enables wireless communications between user equipment and a communications network, including: (i) equipment associated with wireless communications; and (ii) radio transceivers, antennas, coaxial or fiber-optic cable, regular and backup power supplies, and comparable equipment, regardless of technological configuration. Wireless facility includes small wireless facilities. Wireless facility does not include: (i) the structure or improvements on, under, or within which the equipment is collocated; or (ii) wireline backhaul facilities, coaxial or fiber optic cable that is between wireless support structures or utility poles or coaxial, or fiber optic cable that is otherwise not immediately adjacent to or directly associated with an antenna.

Wireless support structure: A freestanding structure, such as a monopole, tower, either

guyed or self-supporting; billboard; or other existing or proposed structure designed to support or capable of supporting wireless facilities. Wireless support structure does not include a utility pole.

§150.105(C): Nonresidential Districts

(1) Neighborhood Office (NO) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Single-Family
Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Small Wireless Facility

B2. Permitted as Special Use

Twin House/Duplex
Two-Flat
Townhouse (3 or 4 unit building)
Multiplex (3 or 4 unit building)
Apartment (3 or 4 unit building)
Institutional Residential
Clear Cutting
Indoor Sales or Service
Indoor Commercial Entertainment
Bed and Breakfast Establishments
Day care center (3+ children)
Boarding House
Artisan Studio

(2) Planned Office (PO) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Indoor Sales or Service
Indoor Commercial Entertainment
Commercial Indoor Lodging
Day care center (3+ children)
Artisan Studio
Airport/Heliport

(3) Neighborhood Business (NB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Single-Family
Cultivation

B2. Permitted as Special Use

Twin House/Duplex
Two-Flat

Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Indoor Maintenance Service
Small Wireless Facility

Townhouse (3 or 4 unit building)
Multiplex (3 or 4 unit building)
Apartment (3 or 4 unit building)
Institutional Residential
Clear Cutting
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Bed and Breakfast Establishments
Day care center (3+ children)
Boarding House
Artisan Studio

(4) Planned Business (PB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Indoor Maintenance Service
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Outdoor Display
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Outdoor Commercial Entertainment
Commercial Animal Boarding
Commercial Indoor Lodging
Bed and Breakfast Establishments
Day care center (3+ children)
Vehicle Repair and Maintenance
Artisan Studio/Production Shop
Large-scale Development
Shooting Range

(5) General Business (GB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Indoor Maintenance Service

B2. Permitted as Special Use

Artisan Studio/Production Shop
Boarding House
Clear Cutting
Commercial Animal Boarding
Outdoor Display
Personal Storage Facility
Large-scale Development
In-Vehicle Sales or Service
Indoor Commercial Entertainment

Off-Site Parking Lot
Small Wireless Facility

Outdoor Commercial Entertainment
Commercial Indoor Lodging
Bed and Breakfast Establishments
Day care center (3+ children)
Vehicle Repair and Maintenance
Shooting Range

(6) Central Business (CB) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Indoor Maintenance Service
Off-Site Parking Lot
Residential units above the first floor
Artisan Studio/Production Shop
Indoor Institutional (minor)
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Indoor Institutional (major)
Outdoor Institutional
Institutional Residential
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Outdoor Commercial Entertainment
Commercial Indoor Lodging
Bed and Breakfast Establishments
Day care center (3+ children)
Boarding House
Apartment (3 or 4 unit building)

(7) Planned Industrial (PI) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Maintenance Service
Indoor Storage or Wholesaling
Light Industrial
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Indoor Commercial Entertainment
Indoor Sales or Service
Day care center (3+ children)
Artisan Studio/Production Shop
Personal Storage Facility
Airport/Heliport
Distribution Center
Communication Tower
Campground
Off-Site Parking Lot
Vehicle Repair and Maintenance
In-vehicle Sales or Service

(8) General Industrial (GI) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Public Services and Utilities
Office
Indoor Maintenance Service
Indoor Storage or Wholesaling
Off-Site Parking Lot
Vehicle Repair and Maintenance
Personal Storage Facility
Light Industrial
Small Wireless Facility

B2. Permitted as Special Use

Clear Cutting
Day care center (3+ children)
Artisan Studio/Production Shop
Outdoor Storage or Wholesaling
Airport/Heliport
Freight Terminal
Communication Tower
Campground
Distribution Center
Heavy Industrial
Shooting Range

(9) Heavy Industrial (HI) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation
Public Services and Utilities
Office
Indoor Maintenance Service
Indoor Storage or Wholesaling
Outdoor Storage or Wholesaling
Off-Site Parking Lot
Distribution Center
Light Industrial
Heavy Industrial
Vehicle Repair and Maintenance
Small Wireless Facility

B2. Permitted as Special Use

Agricultural Services
Clear Cutting
Outdoor Maintenance Service
Sexually Oriented Land Use
Junkyard or Salvage Yard
Waste Disposal Facility
Composting Operation
Airport/Heliport
Freight Terminal
Communication Tower
Extraction Use
Shooting Range

§150.105(D): Institutional District

(D) Institutional District

(1) Institutional (I) District

B. List of Allowable Principal Land Uses (per Article 2)

A2. Permitted by Right

- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation
- Active Outdoor Public Recreation
- Public Services and Utilities
- Indoor Institutional (minor)
- Small Wireless Facility**

B2. Permitted as Special Use

- Clear Cutting
- Day care center (3+ children)
- Outdoor Institutional
- Institutional Residential
- Indoor Institutional (major)

§150.105(E): Tollway Corridor Districts

(E) Tollway Corridor Districts

(1) Planned Mixed Use 1 (PM-1) District

A. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation
- Active Outdoor Public Recreation
- Public Services and Utilities
- Indoor Institutional (minor)
- Office
- Personal or Professional Services
- Indoor Sales or Service
- Day care center (3+ children)
- Commercial Indoor Lodging
- Indoor Maintenance Service
- On-Site Parking Garage (above & underground)
- Residential units above the first floor
- Small Wireless Facility**

2. Permitted as Special Use

- Clear Cutting
- Outdoor Institutional
- Institutional Residential
- In-Vehicle Sales or Service
- Indoor Commercial Entertainment
- Outdoor Commercial Entertainment
- Vehicle Repair and Maintenance
- Artisan Studio/Production Shop
- Commercial Animal Boarding
- Off-Site Parking Lot/Garage
- Indoor Institutional (major)

(2) Planned Mixed Use 2 (PM-2) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

- Cultivation
- Selective Cutting
- Passive Outdoor Public Recreation

2. Permitted as Special Use

- Clear Cutting
- Outdoor Institutional
- Indoor Institutional (minor and major)

Active Outdoor Public Recreation
Public Services and Utilities
Office
Personal or Professional Services
Indoor Sales or Service
Day care center (3+ children)
Commercial Indoor Lodging
Indoor Maintenance Service
On-Site Parking Garage (above & underground)
Residential units above the second floor
Small Wireless Facility

Institutional Residential
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Outdoor Commercial Entertainment
Artisan Studio/Production Shop
Off-Site Parking Lot/Garage
Large Scale Developments

(3) Planned Mixed Use 4 (PM-4) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

Cultivation
Selective Cutting

Passive Outdoor Public Recreation
Active Outdoor Public Recreation
Public Services and Utilities
Day care center (3+ children)
Office
Personal or Professional Services
Indoor Sales or Service
Commercial Indoor Lodging
Indoor Maintenance Service
On-Site Parking Garage (above & underground)
Residential units above the third floor
Small Wireless Facility

2. Permitted as Special Use

Clear Cutting
Indoor Institutional (minor and major)
Institutional Residential
In-Vehicle Sales or Service
Indoor Commercial Entertainment
Commercial Indoor Lodging
Artisan Studio/Production Shop
Commercial Animal Boarding
Off-Site Parking Lot/Garage
Large-scale Development

(4) Corporate Center (CC) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

Cultivation
Selective Cutting
Passive Outdoor Public Recreation

2. Permitted as Special Use

Clear Cutting
Outdoor Institutional
Indoor Institutional (minor and

Active Outdoor Public Recreation
Public Services and Utilities
Office
On-Site Parking Garage (above & underground)
Small Wireless Facility

major)
Large Scale Developments
Off-Site Parking Lot/Garage

(5) Technology Center (TC) District

B. List of Allowable Principal Land Uses (per Article 2)

1. Permitted by Right

Cultivation
Selective Cutting

Passive Outdoor Public Recreation
Public Services and Utilities
Office
Day care center (3+ children)
On-Site Parking Garage (above & underground)
Small Wireless Facility

2. Permitted as Special Use

Clear Cutting
Indoor Institutional (minor and major)
Artisan Studio/Production Shop
Large Scale Developments
Distribution Center
Indoor Storage
Off-Site Parking Lot/Garage

§150.204(C)(6): Public Service and Utilities

(6) **Public Service and Utilities.** Public service and utilities land uses include all City, County, State and Federal facilities (except those otherwise treated in this Section), emergency service facilities such as fire departments and rescue operations, wastewater treatment plants, public and/or private utility substations, water towers, utility and public service related distribution and communication facilities, and similar land uses, except for Small Wireless Facilities. This includes any building, structure or appurtenance, open space or parcel of land owned or leased by the City, County, or State.

§150.204(G)(3): Communication Tower

(3) **Communication Tower.** Communication towers include all free-standing broadcasting, receiving, or relay structures, and similar principal land uses; and any office, studio or other land uses directly related to the function of the tower, except for Small Wireless Facilities.

§150.204(G)(5): Small Wireless Facility

(5) **Small Wireless Facility.** A wireless facility that meets both of the following qualifications:
(i) each antenna is located inside an enclosure of no more than 6 cubic feet in volume or, in the case of an antenna that has exposed elements, the antenna and all of its exposed

elements could fit within an imaginary enclosure of no more than 6 cubic feet; and (ii) all other wireless equipment attached directly to a utility pole associated with the facility is cumulatively no more than 25 cubic feet in volume. The following types of associated ancillary equipment are not included in the calculation of equipment volume: electric meter, concealment elements, telecommunications demarcation box, ground-based enclosures, grounding equipment, power transfer switch, cut-off switch, and vertical cable runs for the connection of power and other services.

A. Requirements

- (1) Small Wireless Facilities shall be located so that there is sufficient radius of clear land around the tower so that its collapse shall be completely contained on the property.
- (2) Small Wireless Facilities shall be no taller than 45 feet above ground or 10 feet taller than the tallest existing utility pole within 300 feet, whichever is taller, without a variance.

B. Parking Requirements. Not required.

BACKGROUND AND SUMMARY OF FINDINGS:

Public Act 100-0585 was passed regulating Small Wireless Facilities Deployment throughout the State of Illinois. This Public Act allows for small wireless facilities (small cell towers) to be constructed in the public right-of-way and on non-residentially zoned property. The Public Act allows for municipalities to place certain regulations on small wireless facilities. Those regulations, however, need to be adopted by Ordinance.

The City of Belvidere recently passed Ordinance 414H which provides for the allowable regulations of small wireless facilities in the public right-of-way. The proposed text amendment to the Belvidere Zoning Ordinance provides for the allowable regulations of small wireless facilities on non-residentially zoned private property. Without these regulations in place, companies can install such facilities in whatever manner or location they wish.

Language within the text amendment provides clarification between a small wireless facility, communication towers and public service and utilities.

Based upon this information, planning staff recommends approval of case **2018-23**.

Submitted by:


Gina DelRose,
Community Development Planner

ORDINANCE NO. 426H

**AN ORDINANCE GRANTING A SPECIAL USE
TO PERMIT ACCESSORY OUTDOOR STORAGE
WITHIN THE PI, PLANNED INDUSTRIAL DISTRICT
(675 Corporate Parkway)**

WHEREAS, The City of Belvidere has adopted Chapter 150, Zoning Ordinance in accordance with the provisions of Illinois Compiled Statutes to regulate the use of land and to specify the minimum requirements for improvements on land in the City of Belvidere; and

WHEREAS, Special Uses are certain municipal or private uses that due to their physical or operational characteristics may pose a threat to the value, use and enjoyment of adjoining property; are reviewed on a case by case basis; and are permitted only by permission of the Belvidere City Council; and,

WHEREAS, The applicant, Becknell Services LLC, 4242 South First Avenue, Suite D, Lyons, IL 60534 on behalf of the owner, 675 Corporate Parkway Becknell Investors LLC has petitioned the City for a Special Use to permit accessory outdoor storage at 675 Corporate Parkway, Belvidere, IL; and

WHEREAS, after due notice by publication pursuant to the Illinois State Statutes, the City of Belvidere Planning and Zoning Commission held a public hearing on September 11, 2018 concerning the proposed Special Use; and,

WHEREAS, the City of Belvidere Planning and Zoning Commission having examined the application and having considered the evidence, both oral and documentary and being fully advised about the premises did make findings of fact and a recommendation; and,

WHEREAS, the corporate authorities of the City considered the findings of fact and concur with the recommendation of the Planning and Zoning Commission,

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELVIDERE, BOONE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. The foregoing recitals are incorporated herein by this reference.

Section 2. That a Special Use in the PI, Planned Industrial District for accessory outdoor storage on the property depicted in Attachment A and legally described as:

Lot 15 as designated upon Final Plat No. 4 of Sager Corporate Park, being a resubdivision of Lots 10 and 11 of Plat No. 2 of Sager Corporate Park, also part of the Northeast Quarter of Section 1, Township 43 North, Range 3 East of the Third Principal Meridian, City of Belvidere, County of Boone and State of Illinois. PIN: 07-01-201-014.

is hereby approved, subject to the following conditions:

1. Substantial compliance with the submitted site plan.
2. The outdoor storage area shall be screened by landscaping in substantial compliance with the landscape plan submitted. (Attachment B)

Section 3. That the premises shall be used in accordance with and subject to the applicable provisions of the Zoning Ordinance of the City of Belvidere and shall not be used except as may otherwise be expressly authorized by the applicable law and the special use.

Section 4. That acceptance of any of the benefits of this Special Use shall be deemed acceptance of all the terms and conditions set forth herein.

Section 5. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

Section 6. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

Section 7. This ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

PASSED by the City Council of the City of Belvidere this ____ day of _____, 2018.

APPROVED by the Mayor of the City of Belvidere this ____ day of _____, 2018.

Michael W. Chamberlain, Mayor

ATTEST:

Shauna Arco, City Clerk

Ayes: _____ Nays: _____ Absent: _____

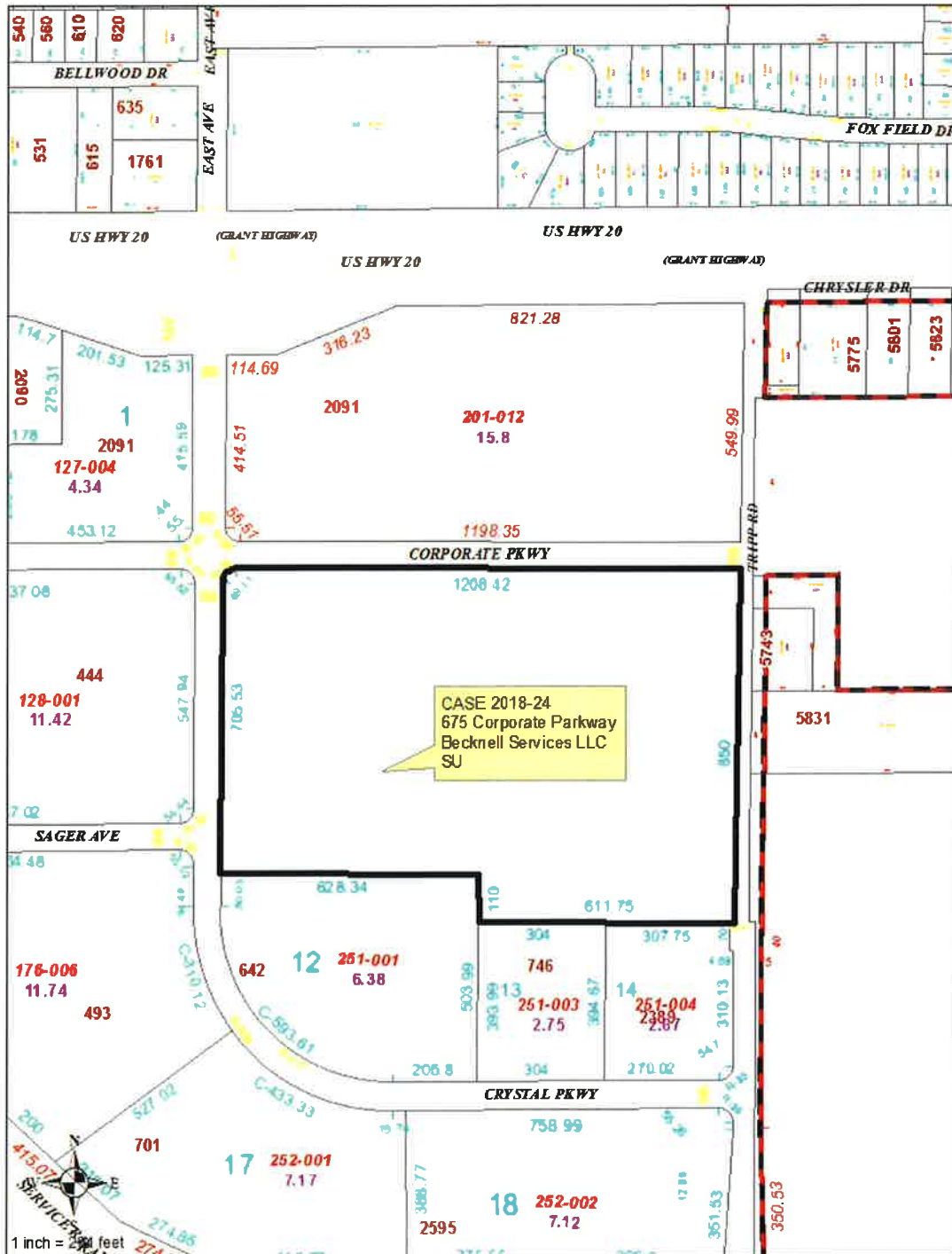
City Council Members Voting Aye: _____

City Council Members Voting Nay: _____

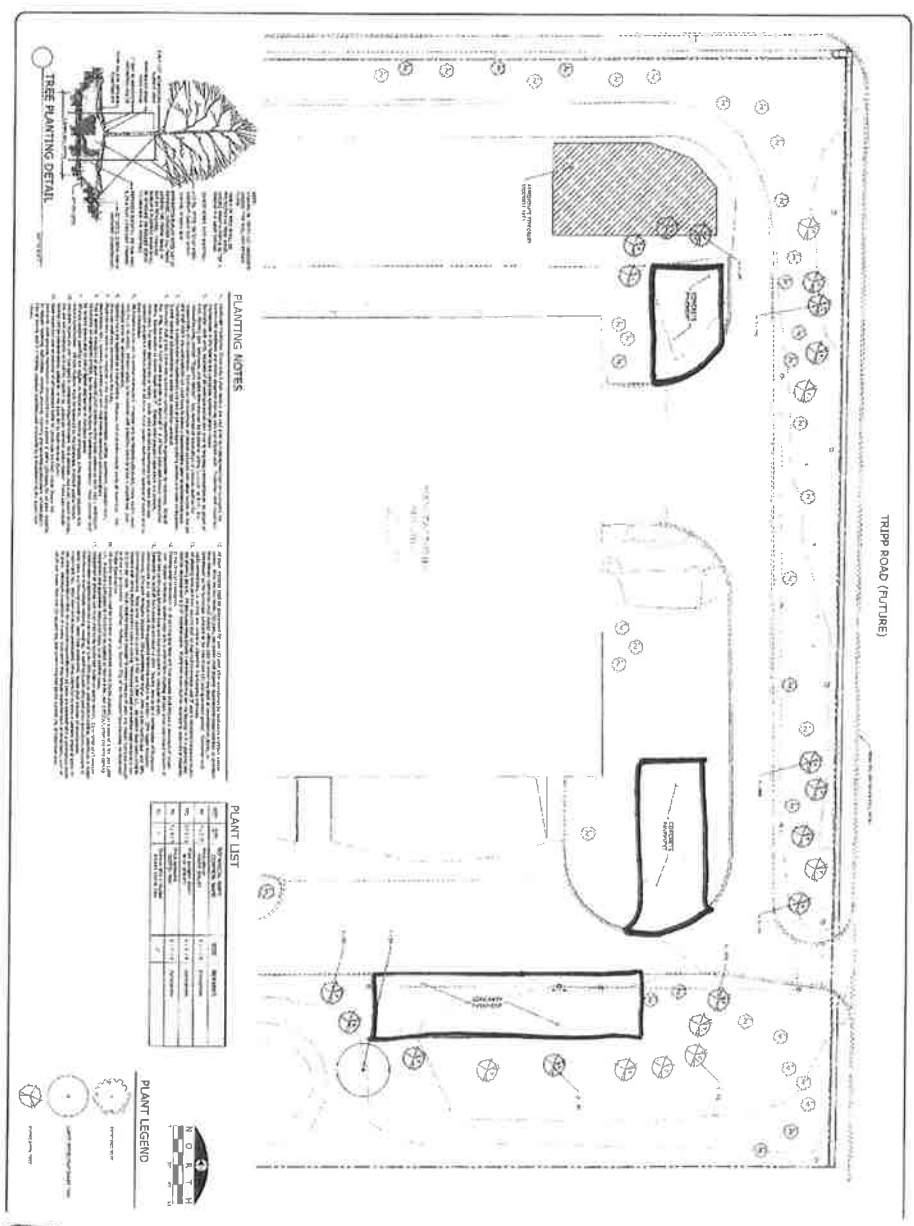
Date Published:

Sponsor: _____

ATTACHMENT A



ATTACHMENT B



DESIGN
 BECKNELL
 LANDSCAPE ARCHITECTS
 18069
 101
 LANDSCAPE PLAN
 NORTH

MEMO

DATE: September 12, 2018
TO: Mayor and Members of the City Council
FROM: City of Belvidere Planning and Zoning Commission
SUBJECT: Findings of Fact for Case: 2018-24; 675 Corporate Parkway

REQUEST AND LOCATION:

The applicant, Becknell Services LLC, 4242 South First Avenue, Suite D, Lyons, IL 60534 on behalf of the owner, 675 Corporate Parkway Becknell Investors LLC is requesting a special use for accessory outdoor storage on the south and east sides of the building at 675 Corporate Parkway within the PI, Planned Industrial District pursuant to the Belvidere Zoning Ordinance Sections 150.105(C)(7)(C)(2) Outdoor Storage and 150.904 Special Use Review and Approval Procedures. The subject property is 22.62 acres, located in Flora Township (PIN: 07-01-201-014) and is currently developed with a large industrial building and parking lot. There is a drainage way that runs along the southern boundary of the property.

FINDINGS OF FACT:

Per Section 150.904 (G) of the City of Belvidere Zoning Ordinance, the criteria for granting a Special Use Permit are as follows:

- A. Findings: The establishment, maintenance, or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

The outdoor storage areas will be located on the south and east sides of the property. They will be screened from the view of the residences and school north of Grant Highway. There will be additional screening to the east (Tripp Road). This level of screening is greater than what has previously been approved in the subdivision.

- B. Findings: The proposed special use, both its general use independent of its location and in its specific location, will be in harmony with the purposes, goals, objectives, policies, and standards of the City of Belvidere Comprehensive Plan, Section 150.904 of the Belvidere Zoning Ordinance and any other plan, program, or ordinance adopted, or under consideration pursuant to Notice of Public Hearing by the City.**

The Comprehensive Plan shows the property and the majority of adjacent properties as planned business. Outdoor storage is intended in this area as long as it is properly screened through landscaping or other means. A site plan meeting the conditions of the special use has been submitted and approved.

- C. Findings: The special use will not in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as**

they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to Notice of Public Hearing by the City or governmental agency having jurisdiction to guide development.

The subject property is located within the Sager Corporate Park which is developed with a mix of industrial and commercial land uses. The property to the east of Tripp Road is anticipated to be developed as planned business once Crystal Parkway is extended to Genoa Road.

The outdoor storage areas are not expected to increase the amount of traffic or congestion in the subdivision. The special use for outdoor storage will not lessen the property's level of compliance with the Comprehensive Plan; the site will be required to be in conformance with the intent of the City of Belvidere's Zoning Ordinance.

- D. Findings:** The establishment of the special use will not impede the normal and orderly development and improvement of surrounding property, maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The property is surrounded by a mix of industrial, commercial, institutional and agricultural land uses. The Comprehensive Plan shows properties west of Tripp Road as industrial and properties east of Tripp Road as business. The first outdoor storage area was approved in 2016 and has not deterred the Speedway gas station and truck stop from adding services, nor has it prevented the proposed car wash from developing. The pending replat for the property west of Speedway is in anticipation of more commercial businesses locating in the park, despite the existing outdoor storage.

- E. Findings:** The proposed Special Use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvement facilities, utilities or services provided by public agencies servicing the subject property.

The property is currently served by municipal utilities.

- F. Findings:** The potential public benefits of the proposed special use outweighs any and all potential adverse impacts of the proposed special use after taking into consideration the Applicant's proposal and any requirements recommended to ameliorate such impacts.

The planning staff does not anticipate any potential adverse impacts of the accessory outdoor storage areas. The storage areas will be screened from view by the building and by landscaping. Industrial development spurs economic activities not only for the immediate neighborhood, but for the entire City.

The motion to adopt the Findings of Fact as presented by staff for case 2018-24 for a special use to permit accessory outdoor storage in the PI, Planned Industrial District at 675 Corporate Parkway carried with a (6-0) roll call vote.

Alissa Maher, Chairman
Belvidere Planning and Zoning Commission

MEMO

DATE: September 12, 2018
TO: Mayor and Members of the City Council
FROM: City of Belvidere Planning and Zoning Commission
SUBJECT: Recommendation for Case: 2018-24; 675 Corporate Parkway

REQUEST AND LOCATION:

The applicant, Becknell Services LLC, 4242 South First Avenue, Suite D, Lyons, IL 60534 on behalf of the owner, 675 Corporate Parkway Becknell Investors LLC is requesting a special use for accessory outdoor storage on the south and east sides of the building at 675 Corporate Parkway within the PI, Planned Industrial District pursuant to the Belvidere Zoning Ordinance Sections 150.105(C)(7)(C)(2) Outdoor Storage and 150.904 Special Use Review and Approval Procedures. The subject property is 22.62 acres, located in Flora Township (PIN: 07-01-201-014) and is currently developed with a large industrial building and parking lot. There is a drainage way that runs along the southern boundary of the property.

RECOMMENDATION:

The planning and zoning commission recommended the **approval** of case number **2018-24** for a special use to permit accessory outdoor storage in the PI, Planned Industrial District subject to the following conditions:

1. Substantial compliance with the submitted site plan.
2. The outdoor storage area shall be screened by landscaping in substantial compliance with the landscape plan submitted.

Motion to approve case 2018-24; Becknell Services, LLC, 675 Corporate Parkway as presented by staff carried with a (6-0) roll call vote.

Alissa Maher, Chairman
Belvidere Planning and Zoning Commission

CITY OF BELVIDERE

Community Development



BUILDING DEPARTMENT

PLANNING DEPARTMENT

401 WHITNEY BLVD. SUITE 300 BELVIDERE, IL 61008 * PH (815)547-7177 FAX (815)547-0789

September 4, 2018

ADVISORY REPORT

CASE NO: 2018-24

APPLICANT: Becknell Services, LLC; 675 Corporate Parkway

REQUEST AND LOCATION:

The applicant, Becknell Services LLC, 4242 South First Avenue, Suite D, Lyons, IL 60534 on behalf of the owner, 675 Corporate Parkway Becknell Investors LLC is requesting a special use for accessory outdoor storage on the south and east sides of the building at 675 Corporate Parkway within the PI, Planned Industrial District pursuant to the Belvidere Zoning Ordinance Sections 150.105(C)(7)(C)(2) Outdoor Storage and 150.904 Special Use Review and Approval Procedures. The subject property is 22.62 acres, located in Flora Township (PIN: 07-01-201-014) and is currently developed with a large industrial building and parking lot. There is a drainage way that runs along the southern boundary of the property. See the attached aerial photo.

EXISTING LAND USE:

Subject property: Magna Exteriors

North: Oakley Industries and row crop production

South: Grupo Antolin and row crop production

East: Natural Gas Pipeline, Bible Baptist Church and row crop production (all in the county)

West: Row crop production

CURRENT ZONING:

Subject property: PI, Planned Industrial District

North, West and South: PI, Planned Industrial District

East: A1, Agricultural Preservation Area District (county)

COMPREHENSIVE PLAN:

Subject property: Planned Industrial

North, West and South: Planned Industrial

East: Planned Business

BACKGROUND:

The property is part of the Sager Corporate Park Subdivision which was annexed into the city in 1990. The property was platted in 2016 (Plat 4, Sager Corporate Park). In 2016, construction began on a 221,844 square-foot building and a special use (Ordinance 314H) was granted for a 15,000 square-foot outdoor storage area on the south side of the building.

Magna Exteriors has been very successful since moving to Belvidere in 2016. The original employment estimate of 460 people has increased to almost 1,000 employees. This has caused a significant parking issue at the facility which the company is addressing by constructing an additional 226 parking spaces. Construction of this parking lot expansion is currently underway. Stormwater detention was increased to accommodate the additional parking lot and proposed outdoor storage areas.

The original outdoor storage area has also been outgrown. The applicant is requesting three additional separate outdoor storage areas for a total of 35,750 square feet (20,750 square feet more). Two of the outdoor storage areas are proposed along Tripp Road and one area is proposed south of the building. All the outdoor storage areas will avoid the drainage way that runs south of the property. Based on our knowledge of the outdoor storage area approved in 2016, the applicant is requesting the ability to plant additional landscaping in lieu of fencing. The security fencing in place now meets the height requirements of the Zoning Ordinance but does not visually screen the large containers being stored outside. Trees will provide the visual screening that the Zoning Ordinance intended. Due to the nature of the outdoor storage and the equipment needed to move and utilize the containers, the areas must be located near vehicle traffic circulation areas, greatly dictating where they can be placed.

TREND OF DEVELOPMENT:

The subject property is located in Sager Corporate Park in the City's southeast quadrant. Activity in the industrial park has increased with both Magna's presence and the Speedway gas station and truck stop opening recently. A car wash proposal was approved; this plan is waiting on the pending subdivision replat before moving forward.

COMPREHENSIVE PLAN:

The subject property is designated as "Planned Industrial" by the City of Belvidere Comprehensive Plan, adopted July 15, 1999. The planned industrial category calls for high-quality indoor manufacturing, assembly and storage uses with generous landscaping and limited signage.

FINDINGS OF FACT:

Per Section 150.904 (G) of the City of Belvidere Zoning Ordinance, the criteria for granting a Special Use Permit are as follows:

- A. Findings: The establishment, maintenance, or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

The outdoor storage areas will be located on the south and east sides of the property. They will be screened from the view of the residences and school north of Grant Highway. There will be additional screening to the east (Tripp Road). This level of screening is greater than what has previously been approved in the subdivision.

- B. Findings:** The proposed special use, both its general use independent of its location and in its specific location, will be in harmony with the purposes, goals, objectives, policies, and standards of the City of Belvidere Comprehensive Plan, Section 150.904 of the Belvidere Zoning Ordinance and any other plan, program, or ordinance adopted, or under consideration pursuant to Notice of Public Hearing by the City.

The Comprehensive Plan shows the property and the majority of adjacent properties as planned business. Outdoor storage is intended in this area as long as it is properly screened through landscaping or other means. A site plan meeting the conditions of the special use has been submitted and approved.

- C. Findings:** The special use will not in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to Notice of Public Hearing by the City or governmental agency having jurisdiction to guide development.

The subject property is located within the Sager Corporate Park which is developed with a mix of industrial and commercial land uses. The property to the east of Tripp Road is anticipated to be developed as planned business once Crystal Parkway is extended to Genoa Road.

The outdoor storage areas are not expected to increase the amount of traffic or congestion in the subdivision. The special use for outdoor storage will not lessen the property's level of compliance with the Comprehensive Plan; the site will be required to be in conformance with the intent of the City of Belvidere's Zoning Ordinance.

- D. Findings:** The establishment of the special use will not impede the normal and orderly development and improvement of surrounding property, maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The property is surrounded by a mix of industrial, commercial, institutional and agricultural land uses. The Comprehensive Plan shows properties west of Tripp Road as industrial and properties east of Tripp Road as business. The first outdoor storage area was approved in 2016 and has not deterred the Speedway gas station and truck stop from adding services, nor has it prevented the proposed car wash from developing. The pending replat for the property west of Speedway is in anticipation of more commercial businesses locating in the park, despite the existing outdoor storage.

- E. Findings:** The proposed Special Use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvement facilities, utilities or services provided by public agencies servicing the subject property.

The property is currently served by municipal utilities.

F. Findings: The potential public benefits of the proposed special use outweighs any and all potential adverse impacts of the proposed special use after taking into consideration the Applicant's proposal and any requirements recommended to ameliorate such impacts.

The planning staff does not anticipate any potential adverse impacts of the accessory outdoor storage areas. The storage areas will be screened from view by the building and by landscaping. Industrial development spurs economic activities not only for the immediate neighborhood, but for the entire City.

SUMMARY OF FINDINGS:

The outdoor storage areas will be located on the south and east sides of the property. These areas will be screened from the view of the residences and school north of Grant Highway with additional screening to the east (Tripp Road). This level of screening is greater than what has previously been approved in the subdivision.

The outdoor storage areas are not expected to increase the amount of traffic or congestion in the subdivision. The special use for outdoor storage will not lessen the property's level of compliance with the Comprehensive Plan; the site will be required to be in conformance with the intent of the City of Belvidere's Zoning Ordinance.

The property is surrounded by a mix of industrial, commercial, institutional and agricultural land uses. The Comprehensive Plan shows properties west of Tripp Road as industrial and properties east of Tripp Road as business. The first outdoor storage area was approved in 2016 and has not deterred the Speedway gas station and truck stop from adding services or the proposed car wash from developing. The pending replat for the property west of Speedway is in anticipation of more commercial businesses locating in the park, despite the existing outdoor storage.

The planning staff does not anticipate any potential adverse impacts of the accessory outdoor storage areas. The storage areas will be screened from view by the building and the landscaping. Industrial development spurs economic activities not only for the immediate neighborhood but for the entire City.

RECOMMENDATION:

The planning staff recommends the **approval** of case number **2018-24** for a special use for accessory outdoor storage at 675 Corporate Parkway subject to the following conditions:

1. Substantial compliance with the submitted site plan.
2. The outdoor storage area shall be screened by landscaping in substantial compliance with the landscape plan submitted.

Submitted by:



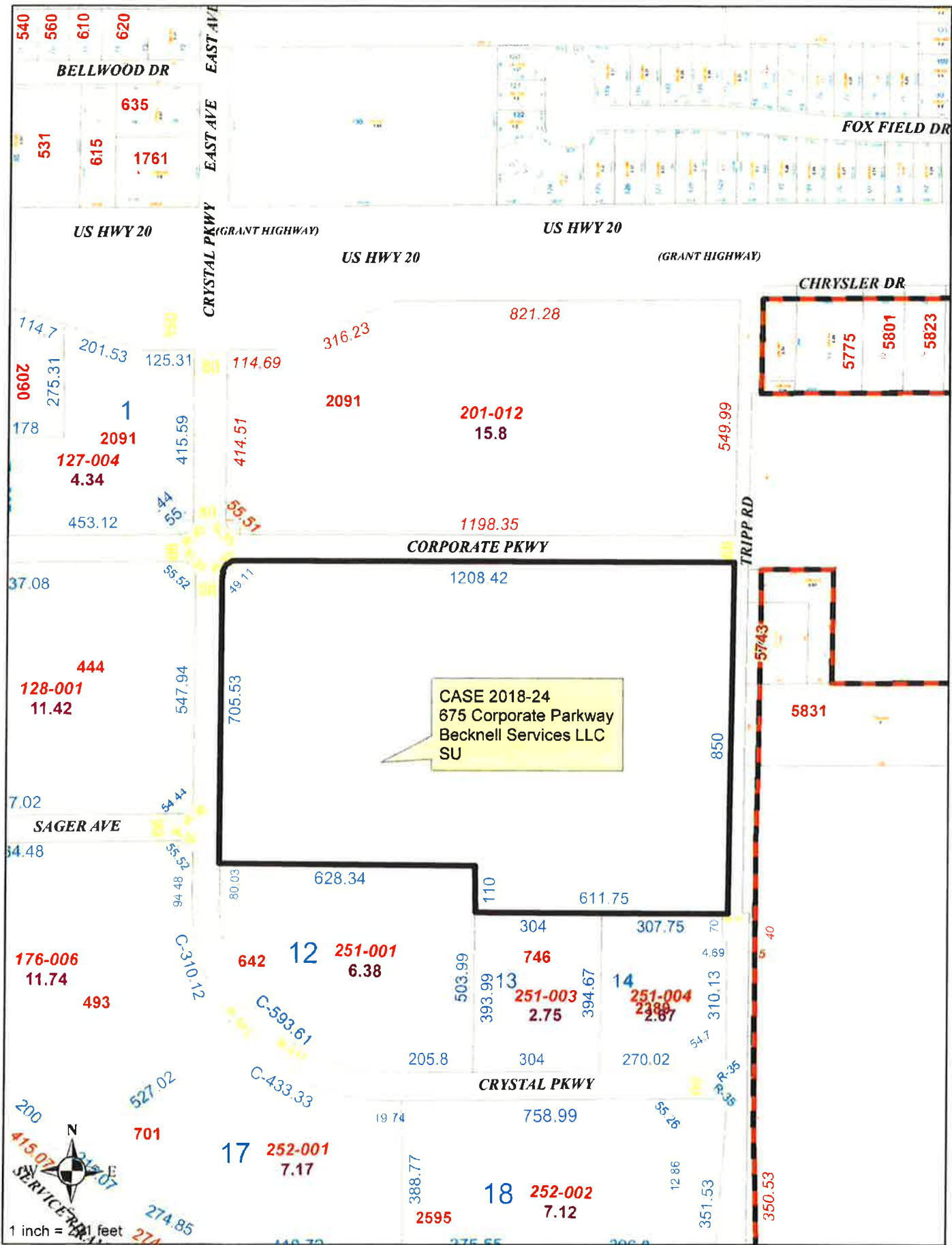
Gina DeRose, Community Development Planner

Review and Recommendation by the Planning and Zoning Commission. The Planning and Zoning Commission shall review the application, adopt findings of fact, and make a recommendation to the City Council.

Review and Action by the City Council. The City Council shall consider the Planning and Zoning Commission's recommendation regarding the proposed special use. The City Council may approve or deny the special use as originally proposed, may approve the proposed special use with modifications or may remand the matter back to the Planning and Zoning Commission for further discussion or hearing. The City Council's approval of the requested special use shall be considered the approval of a unique request, and shall not be construed as precedent for any other proposed special use.

ATTACHMENTS

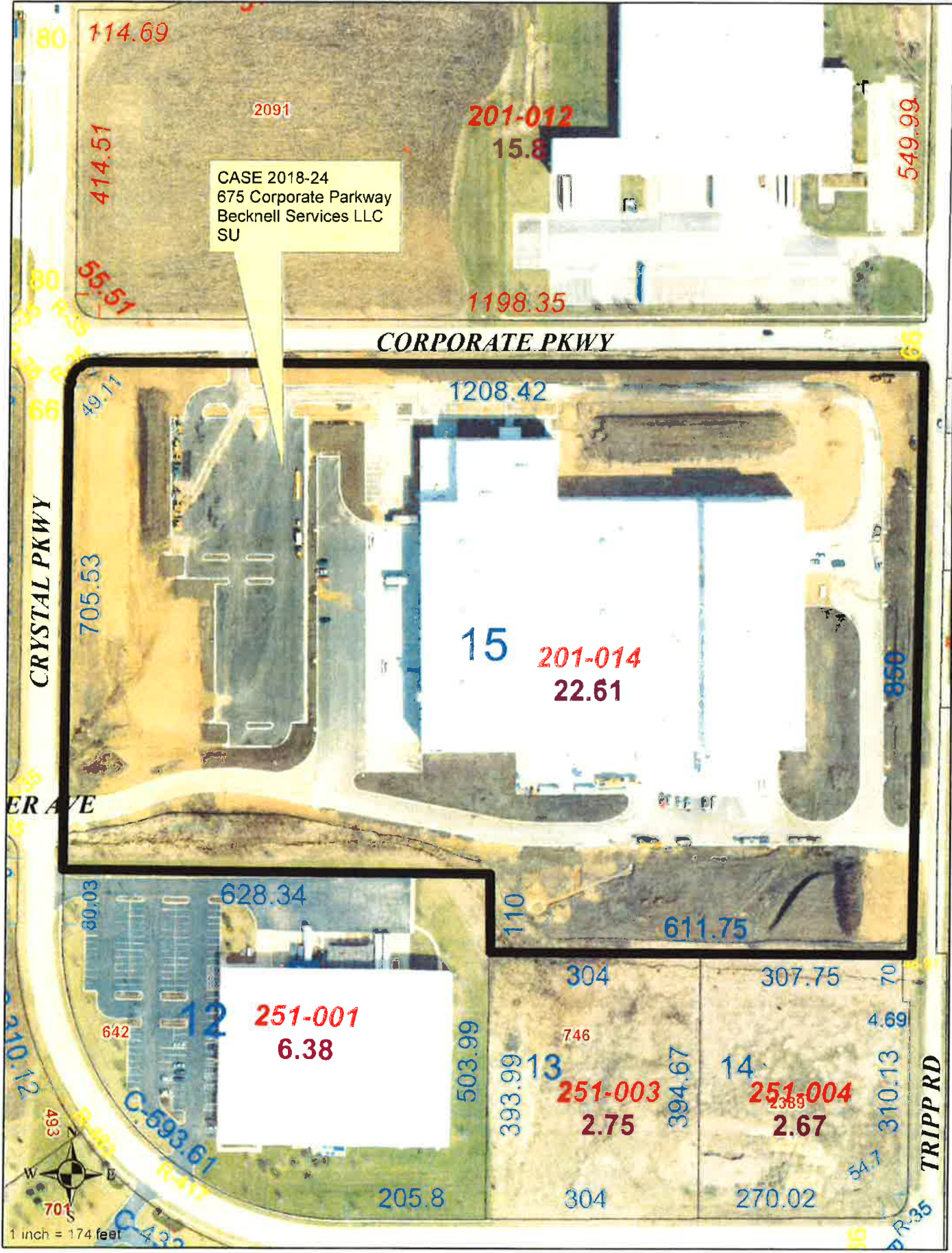
1. Location Map by Planning Staff.
2. Aerial photo by Planning Staff.
3. Narratives submitted by Applicant.
4. Site plan and landscape plan submitted by Applicant.
5. Letter submitted by Jennifer Becker, Boone County Soil and Water District dated August 8, 2018.
6. Memo submitted by Brent Anderson, Belvidere Public Works Department, August 24, 2018.
7. Letter submitted by Amanda Mehl, Boone County Health Department dated August 27, 2018.



CASE 2018-24
 675 Corporate Parkway
 Becknell Services LLC
 SU

1 inch = 11 feet





CASE 2018-24
 675 Corporate Parkway
 Becknell Services LLC
 SU

114.69

2091

201-012

15.8

549.99

414.51

1198.35

CORPORATE PKWY

CRYSTAL PKWY

1208.42

705.53

15

201-014

22.61

850

ER AVE

628.34

110

611.75

304

307.75

4.69

642

251-001

6.38

746

393.99

251-003

2.75

394.67

14

251-004

2.67

310.13

TRIPPRD

205.8

304

270.02



1 inch = 174 feet

Project Narrative for Magna SUP

August 10, 2018

Upon completion of the Magna factory in Sager Industrial Park, the company was blessed to be awarded with a second product line in support of the Jeep Cherokee plant here in Belvidere. The additional work has basically doubled the employment opportunities at the plant, which is certainly a real benefit for the City of Belvidere and its citizenry. In order to keep up with the demand for their products, production has been brisk, and the original outdoor storage/staging area constructed is inadequate. Magna proposes three additional storage areas on their property to accommodate their needs. All will be located near the back or utility sides of the building and away from the main entry. See attached submitted site plan for locations.

Normally, a fenced yard is a zoning requirement. Magna is requesting approval of these outside storage pads without fencing. Firstly, the products consist of bumpers and rear hatches. These products are of significant weight and would not blow around on the site. Secondly, the production process and shipping requirements provide for rather tall stacks of parts. These stacks exceed the normal 6' fence height, so a fence would not provide any screening, even if made opaque to view, which is not required by the code. Instead, Magna proposes to supplement their approved zoning landscaping with additional pine trees placed in locations to screen the storage areas from neighbors or street view. These pine trees are to be installed at 6-8 foot height and will grow to obscure the storage areas in a more natural and better way than a normal chain link fence. Finally, Magna does not see the need for locked storage for these parts due to their weight and the level of activity present at the site during most hours.

Code requires that normal storage areas be located 10' from any circulation drives. In this case, the storage area is required to connect to circulation areas because the materials are moved in and out of the storage areas with forklifts, requiring easy paved access.

Magna thanks the City of Belvidere for their cooperation throughout this process and looks forward to continued success for both the factory and the citizens of the community.



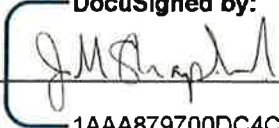
Special Use Permit Justification Letter

Property: 675 Corporate Parkway, Belvidere (P.I.N. 07-01-201-014)

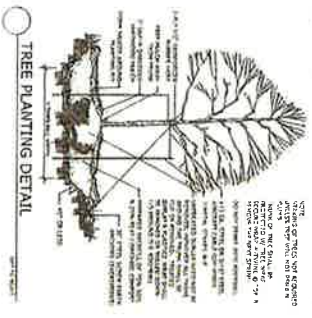
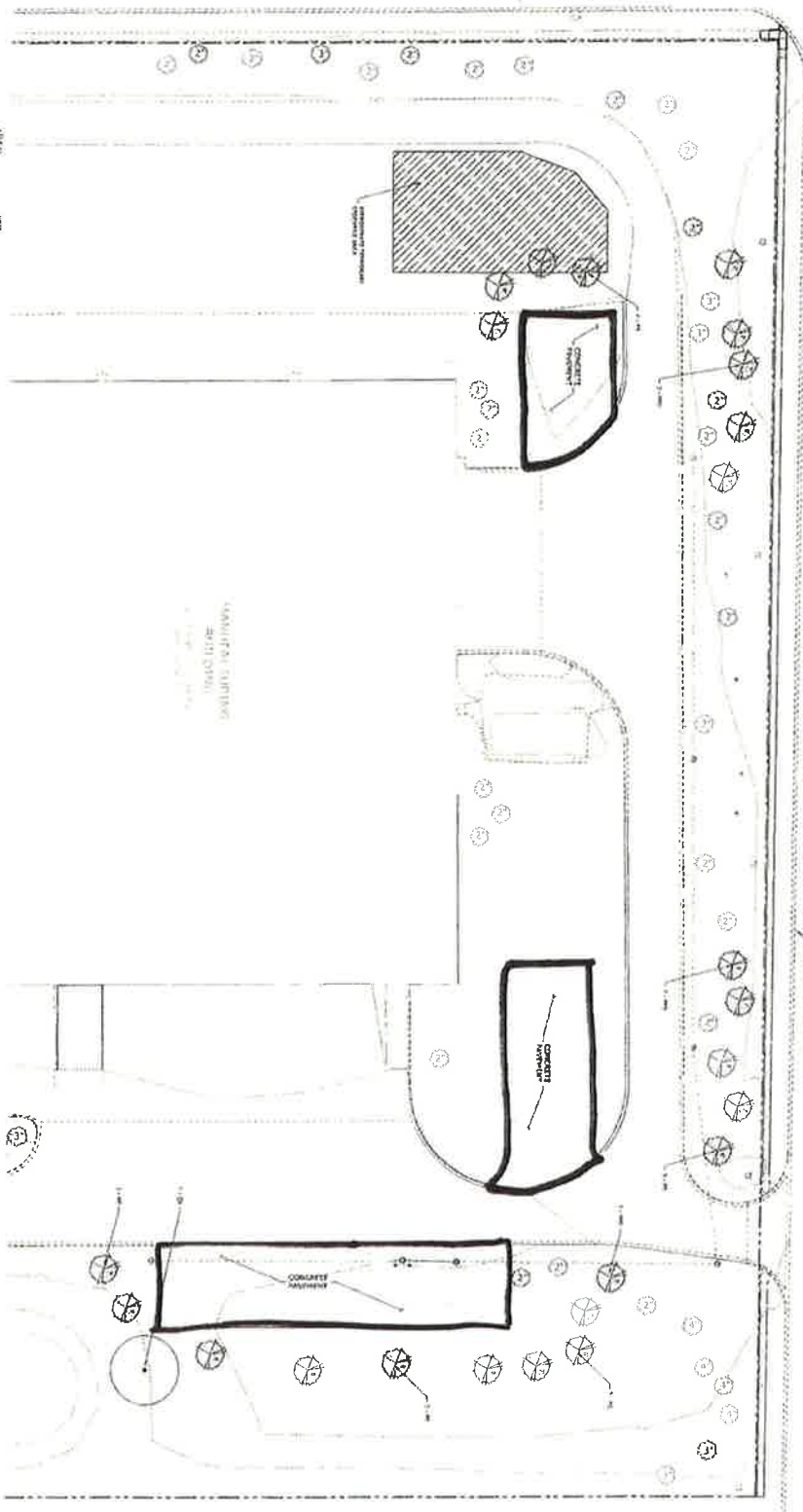
Becknell Industrial (a.k.a. 675 Corporate Parkway Illinois Becknell Investors LLC) is owner of a certain parcel of land and building located at 675 Corporate Parkway in the City of Belvidere. Our tenant (Magna) has grown in operations/production/employees since issuance of certificate of occupancy in March of 2017.

As part of Magna's production growth there is a strong for additional onsite outdoor storage. (Outdoor storage is a critical component of Magna's operation in Belvidere.) We have been assured by the tenant that the proposed additional 20,750 Sq.Ft. of outdoor storage will satisfy this need and cleanup the overflow issues from their existing outdoor storage pad.

Name (Print): J. Mark Shapland Position: EVP – Chief Operating Officer

Signature 
DocuSigned by:
1AAA879700DC4C6...

TRIPP ROAD (FUTURE)

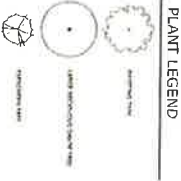


PLANTING NOTES

1. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
2. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
3. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
4. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
5. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
6. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
7. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
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9. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
10. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
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12. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
13. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
14. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
15. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
16. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
17. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
18. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
19. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).
20. All trees to be planted in accordance with the specifications of the American Nursery & Landscape Association (ANLA) and the National Arbor Day Foundation (NADF).

PLANT LIST

NO.	SYM.	PLANT NAME	HT.	DBH.	REMARKS
1	101	PLANTING DETAIL			
2	102	PLANTING DETAIL			
3	103	PLANTING DETAIL			
4	104	PLANTING DETAIL			
5	105	PLANTING DETAIL			
6	106	PLANTING DETAIL			
7	107	PLANTING DETAIL			
8	108	PLANTING DETAIL			
9	109	PLANTING DETAIL			
10	110	PLANTING DETAIL			



PROJECT NO. 18069
 SHEET NO. L01

LANDSCAPE PLAN

NO.	DATE	DESCRIPTION
1	10/1/01	ISSUED FOR PERMIT
2	10/1/01	ISSUED FOR PERMIT
3	10/1/01	ISSUED FOR PERMIT
4	10/1/01	ISSUED FOR PERMIT
5	10/1/01	ISSUED FOR PERMIT
6	10/1/01	ISSUED FOR PERMIT
7	10/1/01	ISSUED FOR PERMIT
8	10/1/01	ISSUED FOR PERMIT
9	10/1/01	ISSUED FOR PERMIT
10	10/1/01	ISSUED FOR PERMIT

BECKNELL
 INDUSTRIAL
 7700 W. 130th Street
 Overland Park, MO 66204
 Phone: 913.241.1100
 Fax: 913.241.1101
 Email: info@becknell.com

MAGNA PLANT
 OUTDOOR STORAGE EXPANSION
 675 CORPORATE PARKWAY
 BELLEVILLE, ILLINOIS 61808

DESIGN
 ASSOCIATES, INC.
 1000 W. 130th Street
 Overland Park, MO 66204
 Phone: 913.241.1100
 Fax: 913.241.1101
 Email: info@designassociates.com

← NORTH



**Boone County
Soil & Water
Conservation District**

211 N. Appleton Road
Belvidere, IL 61008
815-544-2677 ext. 3

8 August 2018

SWCD NRI #: 1596

Belvidere Planning Department
401 Whitney Blvd., Suite 300
Belvidere, IL 61008

Dear Sir/Madam,

A request for a Natural Resource Information Report was submitted. We will supply a written reply to you office as indicated below:

Our review does not apply in this instance.
 Other (see attached)

Location of Site: 675 Corporate Parkway, Belvidere, Illinois 61008
PIN(S): 07-01-201-014

Contact	Petitioner	Owner
Becknell Services, LLC Joel Repiscak 4242 South 1 st Ave., Suite D Lyons, IL 60534 708-221-9513 jrepiscak@becknellindustrial.com	Becknell Services, LLC J. Mark Shapland 4242 South 1 st Ave., Suite D Lyons, IL 60534 708-221-9513 jrepiscak@becknellindustrial.com	Becknell Investors, LLC 2750 E. 146 th Street, Suite 200 Carmel, IN 46033 708-221-9513

Request: special use for outdoor storage

Sincerely,

Jennifer Becker
Boone County Soil & Water
Conservation District

Memo

To: Gina DelRose, Community Development Planner
From: Brent Anderson, Director of Public Works
Date: August 24, 2018
Re: Case #2018-24; Becknell Outdoor Storage

Having reviewed the Special Use Request, I would offer the following comments:

1. The owner has provided the necessary detention volume required for the increase in storm water runoff created by the additional storage areas.



Public Health
Prevent. Promote. Protect.

Boone County Health Department

1204 Logan Avenue, Belvidere, Illinois 61008
Main Office 815.544.2951 Clinic 815.544.9730 Fax 815.544.2050
www.boonehealth.org

The mission of the Boone County Health Department is to serve our community by preventing the spread of disease, promoting optimal wellness & protecting the public's health.

August 27, 2018

FAX: 815-547-0789

Gina DelRose
Community Development Planer
401 Whitney Blvd Suite 300
Belvidere, IL 61008

Re: Case: 2018-24; Becknell Services LLC, 675 Corporate Parkway

Dear Gina,

We are in receipt of the application for a special use for accessory outdoor storage on the south and east side of the building at 675 Corporate Parkway.

The Boone County Health Department has no comments.

Thank you,

Amanda Mehl
Administrator
skm

ORDINANCE NO. 427H

**AN ORDINANCE APPROVING
A REPLAT TITLED
Plat 5 of Sager Corporate Park**

WHEREAS, the City of Belvidere has adopted a Subdivision Ordinance (Chapter 151 of the Belvidere Municipal Code) in accordance with the provisions of Illinois Compiled Statutes to regulate the division of land and specify the minimum requirements for public improvements on land in the City of Belvidere; and,

WHEREAS, Jack Pease & Super Mix Inc. Profit Sharing Trust, 5435 Bull Valley Road, Suite 330, McHenry, IL 60050, the applicant and owner of the property described in the attached subdivision plat (hereof referenced as Attachment A) has petitioned the City of Belvidere for approval of the replat titled Anderson Subdivision.

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELVIDERE, BOONE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. That the attached RePlat titled Plat 5 of Sager Corporate Park be, and is hereby approved, subject to the following conditions:

1. The title of the plat shall be corrected to "Plat 5 of Sager Corporate Park. Being a Replat of Lot 2 of Plat 3 Sager Corporate Park and Lot 3 of Plat 1 Sager Corporate Park..." This shall be corrected on Sheets 1 and 2 and the Surveyor's Certificate.
2. The lots shall be renumbered Lots 1 through 10.
3. Building setback lines shall be shown on all lots.
4. Note 1 shall be amended to read "No additional access points shall be allowed along Chrysler Drive and Grant Highway (U.S. Route 20) for the subdivision.
5. Note 2 shall be removed.
6. Language regarding the 35-foot wide cross access easement shall be added as a note or granted by a separate document. If granted by a separate document, then the document number shall be provided on the plat.
7. Language describing the 12-foot access easement along Lot 2 shall be added to the plat.

8. Sidewalks are required to be installed along all public right-of-ways adjacent to this plat.
9. Note 1 under the Easement Provisions shall include "natural gas" in the fourth line when referencing telephone, electric, and other services or cable television.
10. Dimensions showing the location and size of the sanitary sewer easement between Lots 2 through 7 shall be added.
11. Dimensions showing the location of the sanitary sewer easement along the west line of Lot 7 shall be added.
12. Dimensions showing the location of the sanitary sewer easement along the eastern line of Lots 9 through 11 shall be added. This easement shall be labeled as well.
13. The symbol for the cross access easement shall match the symbol on the legend.
14. The IDOT Certificate shall read: This Plat has been approved by the Illinois Department of Transportation with respect to roadway access pursuant to 765 ILCS 205/2. However, a Permit for access issued by the Department is required by the owner of the property. A plan meeting the requirements contained in the Department's "Policy on Permits for Access Driveways to State Highways" will be required by the Department.
Dated this _____ day of _____, A.D., 20 ____
Region Two Engineer _____
15. A drainage overlay shall be submitted for review and approval prior to the recording of the final plat.
16. A note shall be added stating that hard surface access must be provided for the sanitary sewer extensions shown outside the public right-of-way.
17. All lots shown on the final plat must have sanitary sewer and water service stubs to the property line in accordance with the City subdivision standards.
18. The plat shall include easement provisions for the sanitary sewer and storm sewer easements shown.
19. All public improvements shall be completed in accordance with approved construction plans for the development.
20. A Performance Bond or Letter of Credit is required for all public improvements on forms provided by the City and must be submitted prior to recording the Final Plat

or approval and release of the construction plans for the development by the Director of Public Works.

21. A construction inspection fee in the amount of three percent of the approved engineer's estimate of cost for the public improvements must be paid to the City Clerk prior to approval and release of the construction plans for the development by the Director of Public Works.
22. Prior to approval of the Final Plat, the developer shall pay all normal, customary, and standard permit, inspection, tap-on, connection, recapture, basin and other fees that are required by the City at the time of Final Plat submittal.
23. The elevations shown for the proposed items in the Sanitary Sewer Legend (Utility and Existing Conditions Exhibit) shall be corrected. They are 100 feet higher than the contours depict.
24. The elevations shown for the rim of Prop. Sanitary Manhole 2 (Utility and Existing Conditions Exhibit) shall be corrected. They are 100 feet higher than the contours depict.
25. Dimensions and coordinates shall be provided for all proposed items on the Utility and Existing Conditions Exhibit.
26. The 10-foot storm sewer easement shown on the Utility and Existing Conditions Exhibit shall be widened to 20 feet.
27. Information shall be provided showing how the proposed storm sewer and sanitary sewer (as shown on the Utility and Existing Conditions Exhibit) will be installed across Keene Parkway. If they are to be open cut, information on the pavement patches and repairs to the curb and gutter shall be included in the information.
28. Information shall be provided showing the installation methods and required repairs to Corporate Parkway and Keene Parkway regarding connections and extensions made to the existing water main.
29. The revised plat shall be presented to the planning department for review and approval before any signatures are obtained.
30. The plat shall be recorded with the County Recorder of Deeds within 90 days of City Council approval, unless a plat-recording extension is granted.
31. The final plat shall be in compliance with all applicable codes, ordinances and agreements.

Section 2. That the Mayor and City Clerk are hereby authorized and directed to execute the plat upon presentment of a proper guarantee for the construction of the required subdivision improvements and payment of the construction inspection fee in accordance with the Belvidere Subdivision Ordinance.

Section 3. That the City Clerk is hereby authorized and directed to cause the final plat to be recorded with the Boone County Recorder of Deeds after the plat is properly executed by all of the officers of the City of Belvidere.

Section 4. That this Ordinance shall be in full force and effect from and after its passage as provided by local law and pursuant to Illinois State Statutes. This written and foregoing Ordinance is published by authority of the corporate authorities of the City of Belvidere in pamphlet form on this date.

PASSED by the City Council of the City of Belvidere this _____ day of _____, 2018.

APPROVED by the Mayor of the City of Belvidere this _____ day of _____, 2018.

Mike Chamberlain, Mayor

ATTEST:

Shauna Arco, City Clerk

Ayes: _____ Nays: _____ Absent: _____

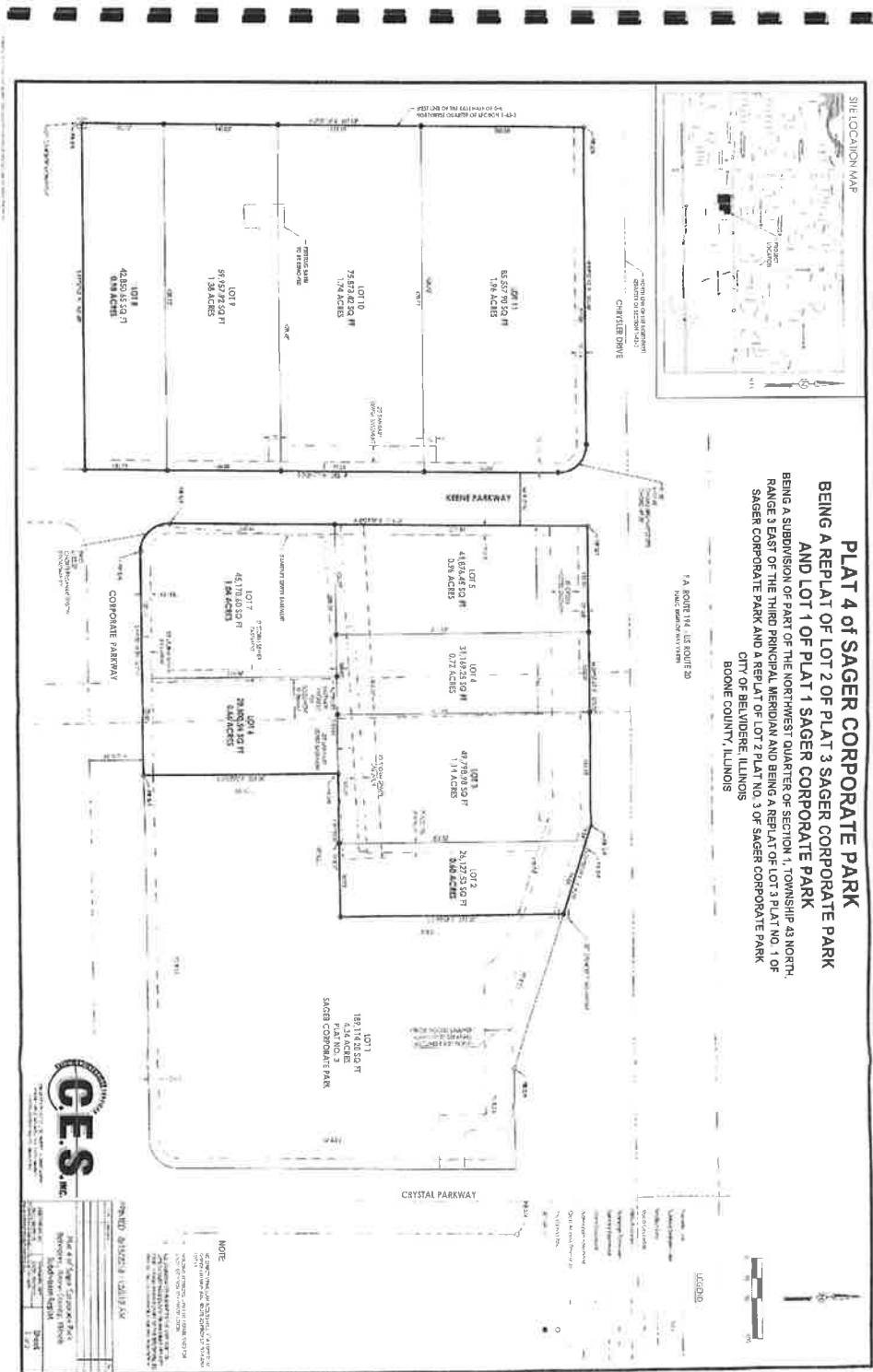
City Council Members Voting Aye:

City Council Members Voting Nay:

Date Published:

Sponsor: _____

ATTACHMENT A



PLAT 4 of SAGER CORPORATE PARK
BEING A REPLAT OF LOT 3 OF PLAT 1 AND LOT 2 OF PLAT 3
BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH,
RANGE 3 EAST OF THE THIRD PRINCIPAL MERIDIAN AND BEING A REPLAT OF LOT 3 PLAT NO. 1 OF
SAGER CORPORATE PARK AND A REPLAT OF LOT 2 PLAT NO. 3 OF SAGER CORPORATE PARK
CITY OF BELVIDERE, ILLINOIS
BOONE COUNTY, ILLINOIS

LAWYER CERTIFICATE

I, the undersigned, being a duly qualified and admitted attorney at law in the State of Illinois, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

Attorney at Law

CITY CLERK'S CERTIFICATE

I, the undersigned, being a duly qualified and admitted City Clerk of the City of Belvidere, Illinois, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

City Clerk

CITY PLANNER'S CERTIFICATE

I, the undersigned, being a duly qualified and admitted City Planner of the City of Belvidere, Illinois, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

City Planner

RECORDS CERTIFICATE

I, the undersigned, being a duly qualified and admitted Recorder of Deeds for Boone County, Illinois, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

Recorder of Deeds

NOTARY CERTIFICATE

I, the undersigned, being a duly qualified and admitted Notary Public in and for the State of Illinois, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

Notary Public

CITY COUNCIL CERTIFICATE

I, the undersigned, being a duly qualified and admitted City Council Member of the City of Belvidere, Illinois, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

City Council Member

PUBLIC WORKS DEPARTMENT CERTIFICATE

I, the undersigned, being a duly qualified and admitted Public Works Department Head of the City of Belvidere, Illinois, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

Public Works Department Head

STATION COMPANY CERTIFICATE

I, the undersigned, being a duly qualified and admitted Station Company Representative of the City of Belvidere, Illinois, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

Station Company Representative

UTILITY COMPANIES CERTIFICATE

I, the undersigned, being a duly qualified and admitted Utility Company Representative of the City of Belvidere, Illinois, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

Utility Company Representative

GENERAL DESIGN PROVISIONS

The undersigned hereby certifies that the design of the proposed plat is in accordance with the provisions of the City of Belvidere, Illinois, Ordinance No. 427H, and that the same is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

General Design Provisions

DESIGN PROVISIONS

The undersigned hereby certifies that the design of the proposed plat is in accordance with the provisions of the City of Belvidere, Illinois, Ordinance No. 427H, and that the same is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

Design Provisions

DOT CERTIFICATION

I, the undersigned, being a duly qualified and admitted DOT Representative of the City of Belvidere, Illinois, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same appears in my files and records.

WITNESSED my hand and the seal of my office at Belvidere, Illinois, this _____ day of _____, 2018.

DOT Representative



PRINTED: 8/15/2018 11:52:53 AM

MEMO

DATE: September 12, 2018
TO: Mayor and Members of the City Council
FROM: City of Belvidere Planning and Zoning Commission
SUBJECT: Recommendation for Case 2018-25; Sager Corporate Park, Plat 5 (RP)

REQUEST:

The applicant is requesting final plat approval of Plat 5 of the Sager Corporate Park Subdivision. The plat is a replat of Lot 2 of Plat 3 and Lot 3 of Plat 1. Plat 5 consists of 10 lots comprised of 11.18 acres.

RECOMMENDATION:

The planning and zoning commission recommended the **approval** of case number **2018-25** subject to the following conditions:

1. The title of the plat shall be corrected to "Plat 5 of Sager Corporate Park. Being a Replat of Lot 2 of Plat 3 Sager Corporate Park and Lot 3 of Plat 1 Sager Corporate Park..." This shall be corrected on Sheets 1 and 2 and the Surveyor's Certificate.
2. The lots shall be renumbered Lots 1 through 10.
3. Building setback lines shall be shown on all lots.
4. Note 1 shall be amended to read "No additional access points shall be allowed along Chrysler Drive and Grant Highway (U.S. Route 20) for the subdivision.
5. Note 2 shall be removed.
6. Language regarding the 35-foot wide cross access easement shall be added as a note or granted by a separate document. If granted by a separate document, then the document number shall be provided on the plat.
7. Language describing the 12-foot access easement along Lot 2 shall be added to the plat.
8. Sidewalks are required to be installed along all public right-of-ways adjacent to this plat.
9. Note 1 under the Easement Provisions shall include "natural gas" in the fourth line when referencing telephone, electric, and other services or cable television.
10. Dimensions showing the location and size of the sanitary sewer easement between Lots 2 through 7 shall be added.

11. Dimensions showing the location of the sanitary sewer easement along the west line of Lot 7 shall be added.
12. Dimensions showing the location of the sanitary sewer easement along the eastern line of Lots 9 through 11 shall be added. This easement shall be labeled as well.
13. The symbol for the cross access easement shall match the symbol on the legend.
14. The IDOT Certificate shall read: This Plat has been approved by the Illinois Department of Transportation with respect to roadway access pursuant to 765 ILCS 205/2. However, a Permit for access issued by the Department is required by the owner of the property. A plan meeting the requirements contained in the Department's "Policy on Permits for Access Driveways to State Highways" will be required by the Department.
Dated this _____ day of _____, A.D., 20 ____
Region Two Engineer _____
15. A drainage overlay shall be submitted for review and approval prior to the recording of the final plat.
16. A note shall be added stating that hard surface access must be provided for the sanitary sewer extensions shown outside the public right-of-way.
17. All lots shown on the final plat must have sanitary sewer and water service stubs to the property line in accordance with the City subdivision standards.
18. The plat shall include easement provisions for the sanitary sewer and storm sewer easements shown.
19. All public improvements shall be completed in accordance with approved construction plans for the development.
20. A Performance Bond or Letter of Credit is required for all public improvements on forms provided by the City and must be submitted prior to recording the Final Plat or approval and release of the construction plans for the development by the Director of Public Works.
21. A construction inspection fee in the amount of three percent of the approved engineer's estimate of cost for the public improvements must be paid to the City Clerk prior to approval and release of the construction plans for the development by the Director of Public Works.
22. Prior to approval of the Final Plat, the developer shall pay all normal, customary, and standard permit, inspection, tap-on, connection, recapture, basin and other fees that are required by the City at the time of Final Plat submittal.
23. The elevations shown for the proposed items in the Sanitary Sewer Legend (Utility and Existing Conditions Exhibit) shall be corrected. They are 100 feet higher than the contours depict.

24. The elevations shown for the rim of Prop. Sanitary Manhole 2 (Utility and Existing Conditions Exhibit) shall be corrected. They are 100 feet higher than the contours depict.
25. Dimensions and coordinates shall be provided for all proposed items on the Utility and Existing Conditions Exhibit.
26. The 10-foot storm sewer easement shown on the Utility and Existing Conditions Exhibit shall be widened to 20 feet.
27. Information shall be provided showing how the proposed storm sewer and sanitary sewer (as shown on the Utility and Existing Conditions Exhibit) will be installed across Keene Parkway. If they are to be open cut, information on the pavement patches and repairs to the curb and gutter shall be included in the information.
28. Information shall be provided showing the installation methods and required repairs to Corporate Parkway and Keene Parkway regarding connections and extensions made to the existing water main.
29. The revised plat shall be presented to the planning department for review and approval before any signatures are obtained.
30. The plat shall be recorded with the County Recorder of Deeds within 90 days of City Council approval, unless a plat-recording extension is granted.
31. The final plat shall be in compliance with all applicable codes, ordinances and agreements.

Motion to approve case 2018-25; Sager Corporate Park, Plat 5 (RP) subject to the conditions as presented carried with a (6-0) roll call vote.

Alissa Maher, Chairman
Belvidere Planning and Zoning Commission

CITY OF BELVIDERE

Community Development



BUILDING DEPARTMENT

PLANNING DEPARTMENT

401 WHITNEY BLVD. SUITE 300 BELVIDERE, IL 61008 * PH (815)547-7177 FAX (815)547-0789

September 5, 2018

ADVISORY REPORT

CASE: 2018-25

APPLICANT: Pease, Plat 5 Sager Corporate Park (RP)

REQUEST:

The applicant is requesting final plat approval of Plat 5 of the Sager Corporate Park Subdivision. The plat is a replat of Lot 2 of Plat 3 and Lot 3 of Plat 1. Plat 5 consists of 10 lots comprised of 11.18 acres.

LOCATION:

The subject property is located in the northwest corner of the subdivision and is divided by Keene Parkway.

BACKGROUND:

The property was annexed into the City of Belvidere in 1990. In 1996 the annexed property was rezoned to a mix of office and industrial. The property would later be completely rezoned to industrial in 2005. The first plat was approved in 1996, the second plat was approved in 1998, a replat was approved in 2015 and a fourth final plat was approved in 2016.

In 2005, a special use for a planned development was approved on the property being replatted. The special use would have allowed for commercial land uses to develop on the industrial lots. Although the special use was never enacted, the proposed replat has the same intention. The 10 smaller lots are more geared towards commercial land uses than the two larger lots that were marketed for industrial land uses.

A request for comments was forwarded to 17 departments, agencies or other parties. Comments received have been incorporated into the recommended conditions of approval.

SUMMARY OF FINDINGS:

The fifth final plat of Sager Corporate Park is in conformance with the City of Belvidere's subdivision and zoning ordinances provided the suggested conditions of approval are met.

RECOMMENDATION:

Planning staff recommends the **approval** of case number **2018-25** subject to the following conditions:

1. The title of the plat shall be corrected to "Plat 5 of Sager Corporate Park. Being a Replat of Lot 2 of Plat 3 Sager Corporate Park and Lot 3 of Plat 1 Sager Corporate Park...." This shall be corrected on Sheets 1 and 2 and the Surveyor's Certificate.
2. The lots shall be renumbered Lots 1 through 10.
3. Building setback lines shall be shown on all lots.
4. Note 1 shall be amended to read "No additional access points shall be allowed along Chrysler Drive and Grant Highway (U.S. Route 20) for the subdivision.
5. Note 2 shall be removed.
6. Language regarding the 35-foot wide cross access easement shall be added as a note or granted by a separate document. If granted by a separate document, then the document number shall be provided on the plat.
7. Language describing the 12-foot access easement along Lot 2 shall be added to the plat.
8. Sidewalks are required to be installed along all public right-of-ways adjacent to this plat.
9. Note 1 under the Easement Provisions shall include "natural gas" in the fourth line when referencing telephone, electric, and other services or cable television.
10. Dimensions showing the location and size of the sanitary sewer easement between Lots 2 through 7 shall be added.
11. Dimensions showing the location of the sanitary sewer easement along the west line of Lot 7 shall be added.
12. Dimensions showing the location of the sanitary sewer easement along the eastern line of Lots 9 through 11 shall be added. This easement shall be labeled as well.
13. The symbol for the cross access easement shall match the symbol on the legend.

14. The IDOT Certificate shall read: This Plat has been approved by the Illinois Department of Transportation with respect to roadway access pursuant to 765 ILCS 205/2. However, a Permit for access issued by the Department is required by the owner of the property. A plan meeting the requirements contained in the Department's "Policy on Permits for Access Driveways to State Highways" will be required by the Department.
Dated this _____ day of _____, A.D., 20 ____
Region Two Engineer _____
15. A drainage overlay shall be submitted for review and approval prior to the recording of the final plat.
16. A note shall be added stating that hard surface access must be provided for the sanitary sewer extensions shown outside the public right-of-way.
17. All lots shown on the final plat must have sanitary sewer and water service stubs to the property line in accordance with the City subdivision standards.
18. The plat shall include easement provisions for the sanitary sewer and storm sewer easements shown.
19. All public improvements shall be completed in accordance with approved construction plans for the development.
20. A Performance Bond or Letter of Credit is required for all public improvements on forms provided by the City and must be submitted prior to recording the Final Plat or approval and release of the construction plans for the development by the Director of Public Works.
21. A construction inspection fee in the amount of three percent of the approved engineer's estimate of cost for the public improvements must be paid to the City Clerk prior to approval and release of the construction plans for the development by the Director of Public Works.
22. Prior to approval of the Final Plat, the developer shall pay all normal, customary, and standard permit, inspection, tap-on, connection, recapture, basin and other fees that are required by the City at the time of Final Plat submittal.
23. The elevations shown for the proposed items in the Sanitary Sewer Legend (Utility and Existing Conditions Exhibit) shall be corrected. They are 100 feet higher than the contours depict.
24. The elevations shown for the rim of Prop. Sanitary Manhole 2 (Utility and Existing Conditions Exhibit) shall be corrected. They are 100 feet higher than the contours depict.

25. Dimensions and coordinates shall be provided for all proposed items on the Utility and Existing Conditions Exhibit.
26. The 10-foot storm sewer easement shown on the Utility and Existing Conditions Exhibit shall be widened to 20 feet.
27. Information shall be provided showing how the proposed storm sewer and sanitary sewer (as shown on the Utility and Existing Conditions Exhibit) will be installed across Keene Parkway. If they are to be open cut, information on the pavement patches and repairs to the curb and gutter shall be included in the information.
28. Information shall be provided showing the installation methods and required repairs to Corporate Parkway and Keene Parkway regarding connections and extensions made to the existing water main.
29. The revised plat shall be presented to the planning department for review and approval before any signatures are obtained.
30. The plat shall be recorded with the County Recorder of Deeds within 90 days of City Council approval, unless a plat-recording extension is granted.
31. The final plat shall be in compliance with all applicable codes, ordinances and agreements.

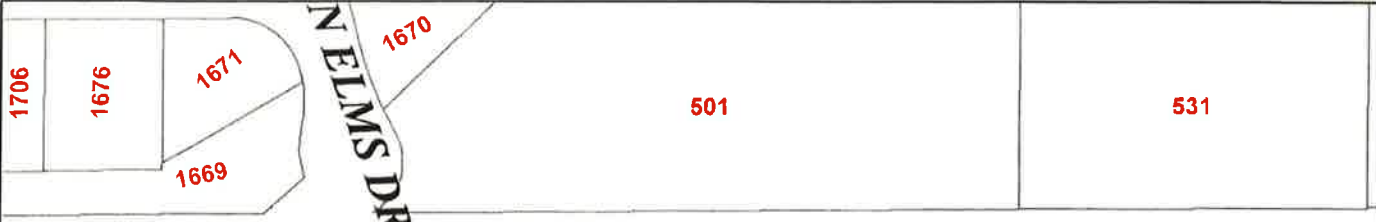
Submitted by:



Gina DelRose
Community Development Planner

ATTACHMENTS

1. Location Map by Planning Staff.
2. Aerial Photo by Planning Staff.
3. E-mail from Nicor Gas Company, Matt Erickson, August 27, 2018.
4. Letter from Hampton, Lenzini and Renwick, Inc., Dirk Yuill, August 29, 2018.
5. Memo from the Belvidere Public Works Department, Brent Anderson, August 30, 2018.
6. Letter from IDOT, Masood Ahmad, September 5, 2018.
7. Final Plat 5 of Sager Corporate Park Subdivision.

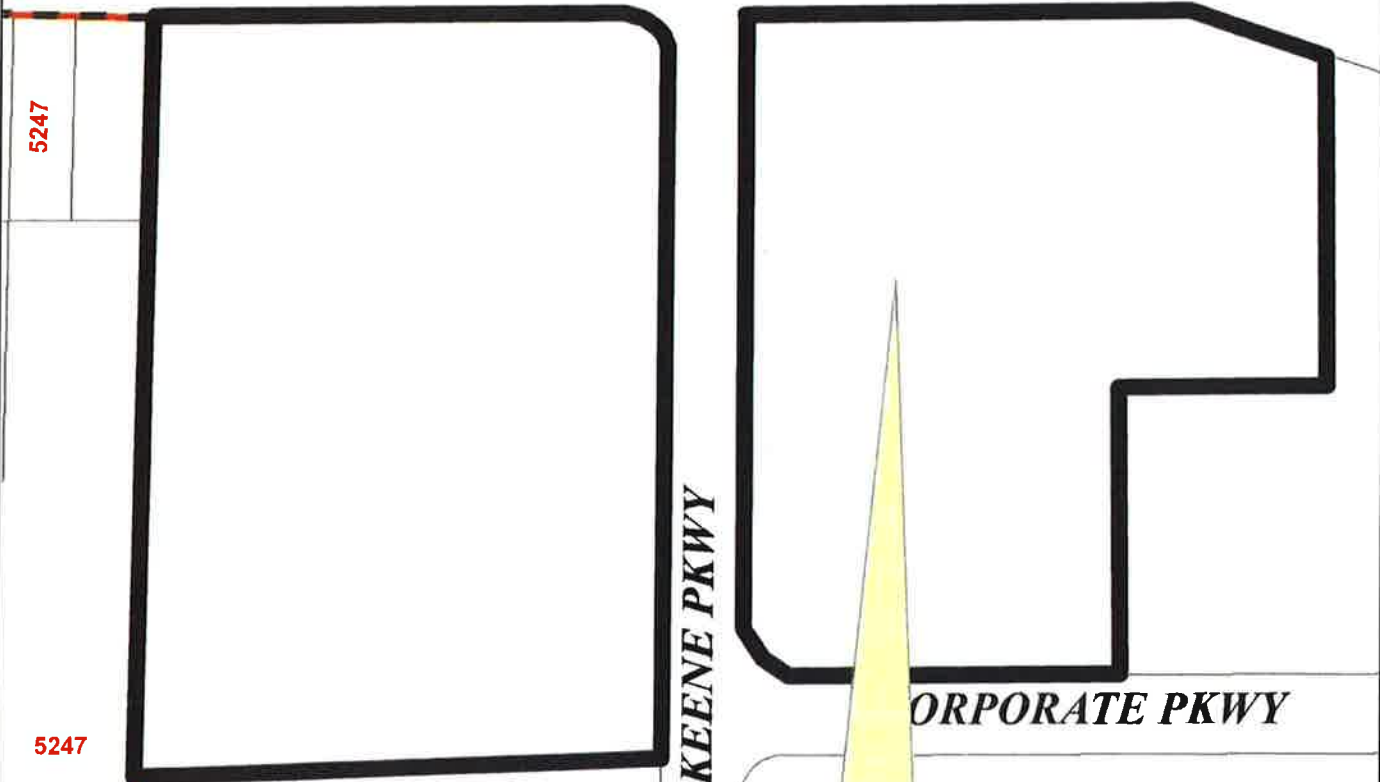


(GRANT HIGHWAY)

US HWY 20

US HWY 20

CHRYSLER DR



5247

5247

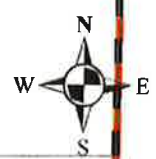
KEENE PKWY

CORPORATE PKWY

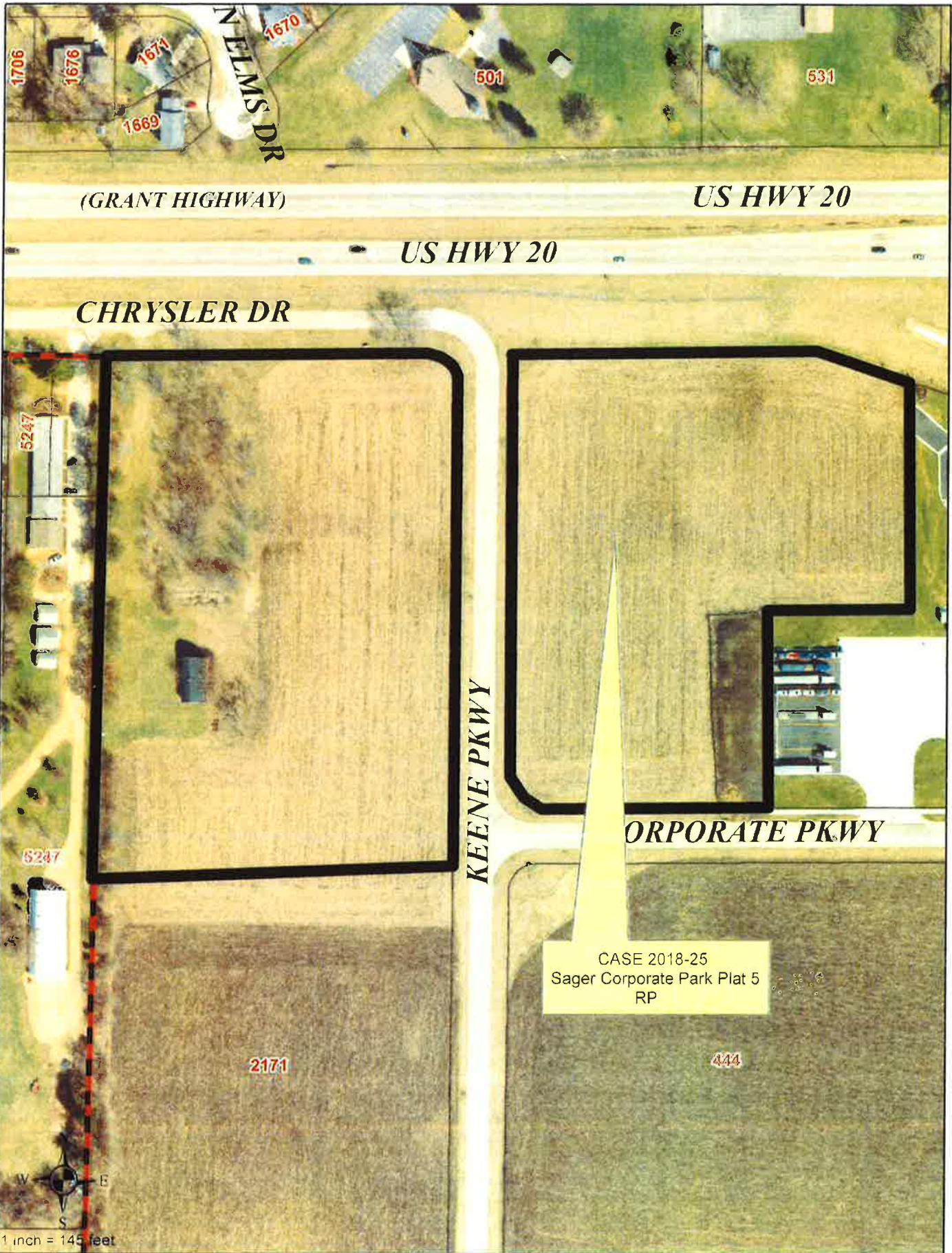
CASE 2018-25
Sager Corporate Park Plat 5
RP

2171

444



1 inch = 145 feet



(GRANT HIGHWAY)

US HWY 20

US HWY 20

CHRYSLER DR

KEENE PKWY

CORPORATE PKWY

CASE 2018-25
Sager Corporate Park Plat 5
RP

W E
S
1 inch = 145 feet

Gina DelRose

From: Erickson, Matthew <MEricks@southernco.com>
Sent: Monday, August 27, 2018 9:09 AM
To: Gina DelRose
Subject: 2018-25 Sager Corporate Park Plat 5

Good Morning Gina,

I received a package to review 2018-25 Sager Corporate Park Plat 5 and I have a concerns regarding the easement utility language. The closest the general easement provision comes to granting Nicor Gas rights are the word Public Utility, Pipes and other service. Can we have the words Natural Gas inserted after electric or can Nicor Utility easement sticker be added to the plat? I can provide that language if that's the preferred route.

Thanks,

Matt Erickson
Land Management Agent
Nicor Gas Company

630.388.2969 office
224.242.2340 mobile
mericks@southernco.com



Hampton, Lenzini and Renwick, Inc.

Civil Engineers • Structural Engineers • Land Surveyors • Environmental Specialists
www.hlrengineering.com

August 29, 2018

Mr. Brent Anderson
Director of Public Works
City of Belvidere
401 Whitney Boulevard, Suite 200
Belvidere, IL 61008

Re: Sager Corporate Park
Plat 5

Dear Mr. Anderson:

We reviewed Plat 5 of Sager Corporate Park along with the Utility and Existing Conditions Exhibit provided and offer the following comments for your consideration:

FINAL PLAT COMMENTS

1. The title on the plat refers to Plat 4. The Planning Department has indicated that this should be Plat 5. All references to Plat 4 on both sheets of the plat should be revised.
2. The title also includes the references to the Lot numbers that are being subdivided. The first listing incorrectly identifies one of the lots as Lot 1 of Plat 1. This should be corrected to be Lot 3 of Plat 1 to match the listing several lines below and the information provided by the Planning Department.
3. The property on the east side of this subdivision, Lot 1 of Plat 3, includes labels for building setback lines but the lines are missing.
4. There are no building setback lines shown on the lots for this subdivision. Plat 3 that created Lot 2 shows 30-foot building setback lines along the public rights-of-way and 15-foot building setback lines along interior lines.
5. Note 2 states that building setbacks shall be established for each lot prior to construction. We question if this is acceptable to the City. Per the Planned Industrial zoning, 30-foot setbacks are required along the front (right-of-way), 20-foot setbacks along the rear lot lines and 15-foot setbacks along side yards.
6. Note 3 is unclear as to the requirements for detention on the lots. Based on the Utility and Existing Conditions exhibit, a storm sewer will be installed along the rear lot lines of Lots 2 through 5 to collect runoff from these lots and convey it to the subdivision detention basin. The note implies that if all runoff from these lots is directed to the south into the storm sewer system, no detention would be required. We question if this is the intent of the note.
7. No information is included for detention on Lots 8 through 11. We assume that runoff from these lots will be drained to the right-of-way and connected to the storm sewer on the east side of Keene Parkway which will convey it to the subdivision detention basin.
8. As the sanitary sewer easement between Lots 2 through 7 is not parallel to the lot lines, dimensions are needed to show the location of the easement.
9. The width of the sanitary sewer easement along the west line of Lot 7 is not shown. Since it is not parallel to the lot line, dimensions are needed to show the location of the easement as well as the size.

380 Shepard Drive
Elgin, Illinois 60123-7010
Tel. 847.697.6700
Fax 847 697 6753

6825 Hobson Valley Drive, Suite 302
Woodridge, Illinois 60517
Tel. 847.697.6700
Fax 847 697 6753

3085 Stevenson Drive, Suite 201
Springfield, Illinois 62703
Tel. 217 546.3400
Fax 217 546 8116

323 W. Third Street, P.O. Box 160
Mt. Carmel, Illinois 62863
Tel. 618.262.8651
Fax 618 263.3327

10. A sanitary sewer easement is shown across the front of Lots 9 to 11. It appears that there is a 12-foot by 20-foot portion of this easement through the Utility Easement on Lot 10. Dimensions are needed to show the location of this easement and it should be labeled as well.
11. A 35-foot cross access easement is shown on Lots 2 to 5. The plat does not include any easement provisions for this easement. Information as to which lots have the right to use this easement as well as the responsibilities of each lot owner for the maintenance of this easement should be specified.
12. The symbol for the cross access easement on the drawing does not match what is shown on the legend.
13. A 12-foot access easement is shown along the west lot line of Lot 2. The plat does not include any easement provisions for this easement.
14. The plat does not include any easement provisions for the sanitary sewer easements shown.
15. The plat does not include any easement provisions for the storm sewer easements shown.
16. The plat includes a certificate for IDOT approval of the access. We assume that an IDOT Highway Permit will be required for the installation of the sidewalk and any other work to be done within the state right-of-way.

UTILITY AND EXISTING CONDITIONS EXHIBIT COMMENTS

1. It appears that this exhibit is meant to take the place of a set of plans for the required improvements needed to provide sanitary sewer, storm sewer, and water main connections to all lots.
2. The elevations shown for the proposed items in the Sanitary Sewer Legend all appear to be 100 feet higher than the contours shown on the drawing and the elevations of the existing sanitary manholes.
3. The elevation for the rim of Prop. Sanitary Manhole 3 appears to be more than 100 feet higher than the existing contours.
4. This exhibit does not include any information on the locations of the proposed improvements. Dimensions or coordinates should be provided for all proposed items.
5. No information is included for the proposed storm sewer system to be installed. We question if these storm sewers are to be maintained by the City. If so, the 10-foot easement shown will not provide adequate space for future maintenance of these sewers within the easement.
6. The exhibit shows a proposed storm sewer and a proposed sanitary sewer to be installed across the Keene Parkway pavement. No information is included as to how these will be installed. If they are to be open cut, information on the pavement patches and repairs to the curb and gutter should be included. Repairs will also have to be made at the corner of Keene Parkway and Corporate Parkway for the installation of the sanitary sewer.
7. A note on this exhibit states that each lot has access to existing water main within the adjacent right-of-way. While this appears to be true, the water main is on the south side of Corporate Parkway and on the west side

Mr. Brent Anderson
City of Belvidere
August 29, 2018
Page 3

of Keene Parkway and will require crossing these streets. Information on installation methods and repairs required should be included.

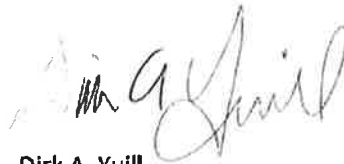
8. Another note states that the sidewalk will be extended west from Lot 1 of Plat 3 to Keene Parkway. The exhibit does not show the location of this sidewalk or how it will tie into Keene Parkway. In addition, since this subdivision extends west, the sidewalk should be extended west to the west line of the subdivision.

If you have any questions or need additional information on the plan comments, please call me at (847) 697-6700.

Yours truly,

HAMPTON, LENZINI AND RENWICK, INC.

By:



Dirk A. Yuill

DAY

Enclosures

P:\180627\ Plat 5 Sager Corporate Park Review 08-29-18.docx

Memo

To: Gina DelRose, Community Development Planner
From: Brent Anderson, Director of Public Works
Date: 8/30/2018
Re: 2018-25; Sager Corporate Park, Final Plat #5

Having reviewed the above plat, I would offer the following comments:

1. All public improvements shall be completed in accordance with approved construction plans for the development.
2. A Performance Bond or Letter-of-Credit is required for all public improvements on forms provided by the City and must be submitted prior to recording of the Final Plat or approval and release of the construction plans for the development by the Director of Public Works.
3. A construction inspection fee in the amount of three percent of the approved engineer's estimate of cost for the public improvements must be paid to the City Clerk prior to approval and release of the construction plans for the development by the Director of Public Works.
4. Prior to approval of the Final Plat for this subdivision, the developer shall pay all normal, customary, and standard permit, inspection, tap-on, connection, recapture, basin, and other fees that are required by the City at the time of Final Plat submittal.
5. A drainage overlay for this plat needs to be submitted for review and approval prior to final plat approval.
6. Hard surfaced access must be provided for the sanitary sewer extensions shown outside the public right-of-way for this plat.
7. All lots shown on this plat must have sanitary sewer and water service stubs to the property line in accordance with City subdivision standards.
8. The comment letter from Hampton, Lenzini & Renwick is attached.



Illinois Department of Transportation

Office of Highways Project Implementation / Region 2 / District 2
819 Depot Avenue / Dixon, Illinois 61021-3500

PROGRAM DEVELOPMENT
Plat Review
Boone County

September 5, 2018

Ms. Gina DelRose
Community Development Planner
401 Whitney Boulevard, Suite 300
Belvidere, Illinois 61008

Dear Ms. DelRose:

This is further in line with your submittal of a preliminary plat for the proposed Sager Corporate Park Plat 5 located along US 20.

The Department does not object to access points located at Lot 1 frontage road and Keene Parkway for this subdivision.

The mylar of the final plat should be submitted for approval. The final plat should include a note stating: "No additional access points shall be allowed along US 20 for the subdivision." In addition, the following should be included:

This plat has been approved by the Illinois Department of Transportation with respect to roadway access pursuant to 765 ILCS 205/2. However, a Permit for access issued by the Department is required by the owner of the property. A plan meeting the requirements contained in the Departments "Policy on Permits for Access Driveways to State Highways" will be required by the Department.

Dated this _____ day of _____, A.D., 20 _____

Region Two Engineer

If you should have any questions regarding this matter, please contact Jason Stringer, Senior Permits Technician, at 815/284-5413.

Sincerely,

Kevin Marchek, P.E.
Region Two Engineer

By: Masood Ahmad, P.E.
Engineer of Program Development

OP-10/JMS-P-12638:fd

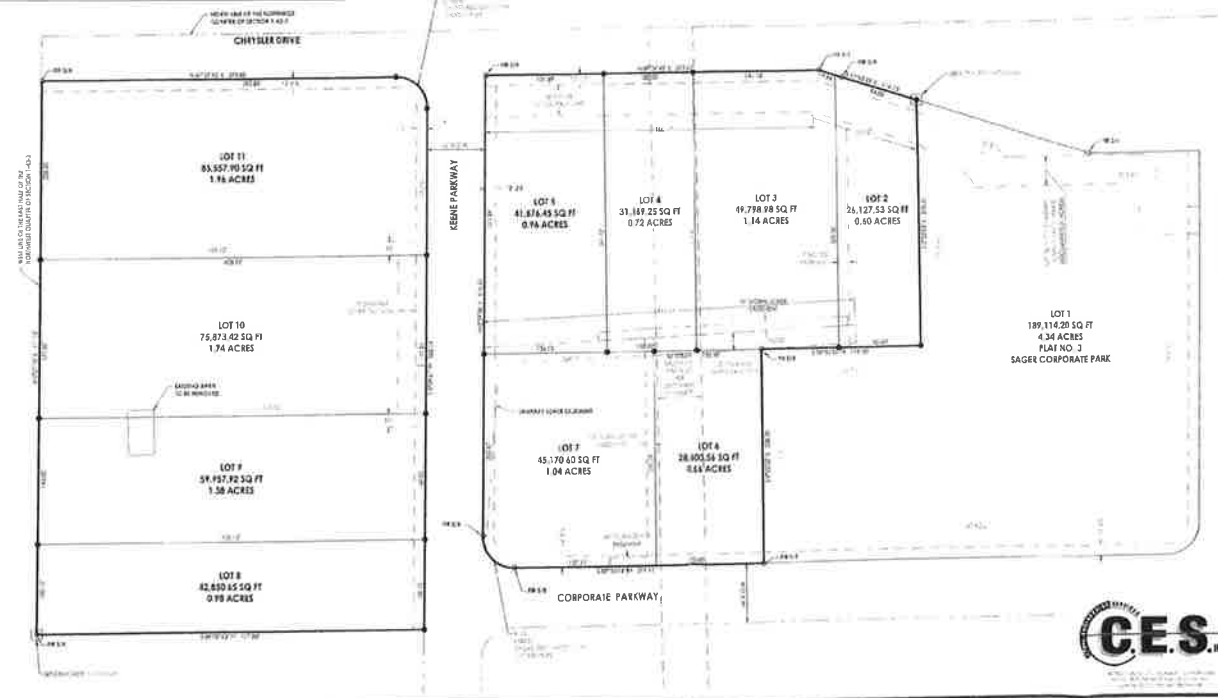


PLAT 4 of SAGER CORPORATE PARK
BEING A REPLAT OF LOT 2 OF PLAT 3 SAGER CORPORATE PARK
AND LOT 1 OF PLAT 1 SAGER CORPORATE PARK
 BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 1, TOWNSHIP 43 NORTH,
 RANGE 3 EAST OF THE THIRD PRINCIPAL MERIDIAN AND BEING A REPLAT OF LOT 3 PLAT NO. 1 OF
 SAGER CORPORATE PARK AND A REPLAT OF LOT 2 PLAT NO. 3 OF SAGER CORPORATE PARK
 CITY OF BELVIDERE, ILLINOIS
 BOONE COUNTY, ILLINOIS



F.A. ROUTE 194 - US ROUTE 20
 PUBLIC SCARF OF 6641 YARDS

LEGEND



NOTICE

PRINTED 01/19/2018 11:53:18 AM

DATE	01/19/2018
TIME	11:53:18 AM
PROJECT	Plat 4 of Sager Corporate Park, Belvidere, Boone County, Illinois
SUBDIVISION	Subdivision Replat
SHEET	1 of 1





EACH LOT HAS ACCESS TO EXISTING WATER MAIN WITHIN THE ADJACENT ROW
SOMEWHAT NORTH OF LOT 8 OF PLAT 3 SACOR CORPORATE PARK AND WITHIN LOT ROW SO BE EXTENDED WEST TO THESE PARKWAY

V.A. ROUTE 194 - US ROUTE 20
About 1/2 mile west of 194

CHRYSLER DRIVE

GENE PARKWAY

CRYSTAL PARKWAY

CORPORATE PARKWAY



- SANITARY SEWER EGRESS**
- 1. FROM SANITARY MANHOLE TO 1500'
 - 2. FROM SANITARY MANHOLE TO 1500' AT 1500' TO 1500' AT 1500'
 - 3. FROM SANITARY MANHOLE TO 1500' AT 1500' TO 1500' AT 1500'
 - 4. FROM SANITARY MANHOLE TO 1500' AT 1500' TO 1500' AT 1500'
 - 5. FROM SANITARY MANHOLE TO 1500' AT 1500' TO 1500' AT 1500'
 - 6. FROM SANITARY MANHOLE TO 1500' AT 1500' TO 1500' AT 1500'
 - 7. FROM SANITARY MANHOLE TO 1500' AT 1500' TO 1500' AT 1500'
 - 8. FROM SANITARY MANHOLE TO 1500' AT 1500' TO 1500' AT 1500'
 - 9. FROM SANITARY MANHOLE TO 1500' AT 1500' TO 1500' AT 1500'
 - 10. FROM SANITARY MANHOLE TO 1500' AT 1500' TO 1500' AT 1500'
 - 11. FROM SANITARY MANHOLE TO 1500' AT 1500' TO 1500' AT 1500'



PRINTED 8/15/2018 12:38:33 PM

Plat 4 of Sagor Corporate Park,
Baltimore, Anne Arundel County, MD
SACOR CORPORATE PARK

DATE	8/15/2018
PROJECT	SACOR CORPORATE PARK
SHEET	1 of 4

ORDINANCE NO. 428H

**AN ORDINANCE GRANTING A SPECIAL USE
TO PERMIT INDOOR COMMERCIAL ENTERTAINMENT
WITHIN THE PB, PLANNED BUSINESS DISTRICT
(2195 North State Street)**

WHEREAS, The City of Belvidere has adopted Chapter 150, Zoning Ordinance in accordance with the provisions of Illinois Compiled Statutes to regulate the use of land and to specify the minimum requirements for improvements on land in the City of Belvidere; and

WHEREAS, Special Uses are certain municipal or private uses that due to their physical or operational characteristics may pose a threat to the value, use and enjoyment of adjoining property; are reviewed on a case by case basis; and are permitted only by permission of the Belvidere City Council; and,

WHEREAS, The applicant, State Street Gaming, LLC, 8859 Olson Road, Belvidere, IL 61008 on behalf of the property owner Logan Avenue Properties LLC, 8859 Olson Road, Belvidere, IL 61008 has petitioned the City for a Special Use to permit indoor commercial entertainment at 2195 North State Street, Belvidere, IL; and

WHEREAS, after due notice by publication pursuant to the Illinois State Statutes, the City of Belvidere Planning and Zoning Commission held a public hearing on September 11, 2018 concerning the proposed Special Use; and,

WHEREAS, the City of Belvidere Planning and Zoning Commission having examined the application and having considered the evidence, both oral and documentary and being fully advised about the premises did make findings of fact and a recommendation; and,

WHEREAS, the corporate authorities of the City considered the findings of fact and concur with the recommendation of the Planning and Zoning Commission,

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BELVIDERE, BOONE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. The foregoing recitals are incorporated herein by this reference.

Section 2. That a Special Use in the PB, Planned Business District for indoor commercial entertainment on the property depicted in Attachment A and legally described as:

Lot One Hundred Forty-eight (148) as designated upon the RePlat of Lots One (1) and Two (2) of Plat 1 of Landmark Crossings, being a Resubdivision of Lots One (1) and Two (2) of Plat 1 of Landmark Crossings being a part of the East Half (1/2) of Section 22, Township 44 North, Range 3 East of the Third Principal Meridian, according to the RePlat recorded April 15, 2009 as Document No. 2009R03720 in the Recorder's Office of Boone County, Illinois; situated in the County of Boone and State of Illinois. PIN: 05-22-403-002

is hereby approved, subject to the following condition:

1. Alcohol is prohibited outside the premises unless a special use permit for outdoor commercial entertainment is obtained.

Section 3. That the premises shall be used in accordance with and subject to the applicable provisions of the Zoning Ordinance of the City of Belvidere and shall not be used except as may otherwise be expressly authorized by the applicable law and the special use.

Section 4. That acceptance of any of the benefits of this Special Use shall be deemed acceptance of all the terms and conditions set forth herein.

Section 5. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

Section 6. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

Section 7. This ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

PASSED by the City Council of the City of Belvidere this ____ day of _____, 2018.

APPROVED by the Mayor of the City of Belvidere this ____ day of _____, 2018.

Michael W. Chamberlain, Mayor

ATTEST:

Shauna Arco, City Clerk

Ayes: _____ Nays: _____ Absent: _____

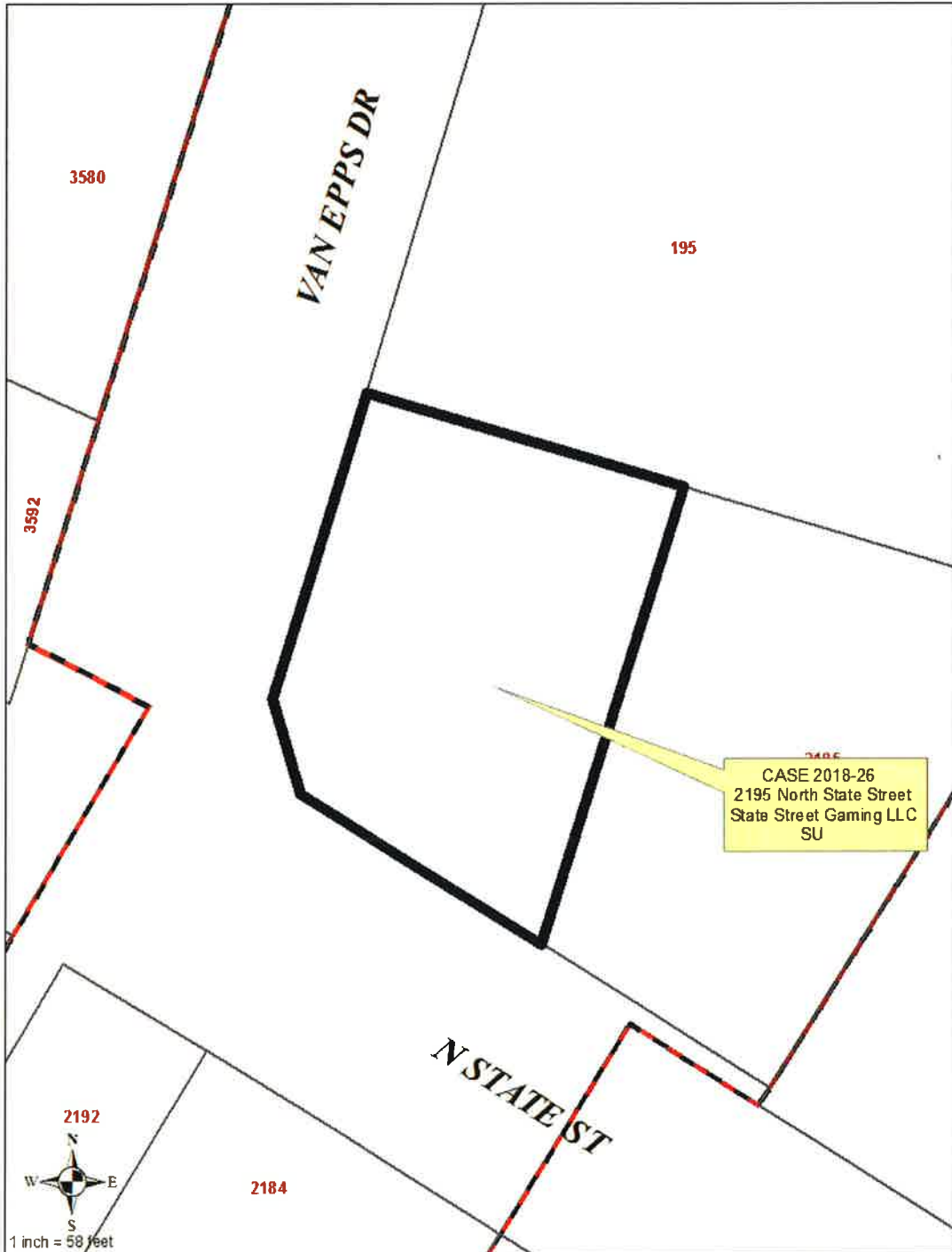
City Council Members Voting Aye: _____

City Council Members Voting Nay: _____

Date Published:

Sponsor: _____

ATTACHMENT A



MEMO

DATE: September 12, 2018
TO: Mayor and Members of the City Council
FROM: City of Belvidere Planning and Zoning Commission
SUBJECT: Recommendation for Case: 2018-26; 2195 North State Street

REQUEST AND LOCATION:

The applicant, State Street Gaming, LLC, 8859 Olson Road, Belvidere, IL 61008 on behalf of the property owner Logan Avenue Properties LLC, 8859 Olson Road, Belvidere, IL 61008 is requesting a special use for indoor commercial entertainment to operate a bar with video gaming at 2195 N. State Street within the PB, Planned Business District (Belvidere Zoning Ordinance Sections 150.105(C)(4)(B)(2) Indoor Commercial Entertainment and 150.904 Special Use Review and Approval Procedures). The subject property is 32,626 square feet (PIN: 05-22-403-002) and is developed with 1,652 square-foot building and parking area.

RECOMMENDATION:

The planning and zoning commission recommended the **approval** of case number **2018-26** for a special use to permit indoor commercial entertainment in the PB, Planned Business District subject to the following condition:

1. Alcohol is prohibited outside the premises unless a special use permit for outdoor commercial entertainment is obtained.

Motion to approve case 2018-26; 2195 North State Street as presented by staff carried with a (6-0) roll call vote.

Alissa Maher, Chairman
Belvidere Planning and Zoning Commission

CITY OF BELVIDERE

Community Development



BUILDING DEPARTMENT

PLANNING DEPARTMENT

401 WHITNEY BLVD. SUITE 300 BELVIDERE, IL 61008 * PII (815)547-7177 FAX (815)547-0789

September 5, 2018

ADVISORY REPORT

CASE NO: 2018-26 **APPLICANT:** State Street Gaming, Inc. 2195 North State Street

REQUEST AND LOCATION:

The applicant, State Street Gaming, LLC, 8859 Olson Road, Belvidere, IL 61008 on behalf of the property owner Logan Avenue Properties LLC, 8859 Olson Road, Belvidere, IL 61008 is requesting a special use for indoor commercial entertainment to operate a bar with video gaming at 2195 N. State Street within the PB, Planned Business District (Belvidere Zoning Ordinance Sections 150.105(C)(4)(B)(2) Indoor Commercial Entertainment and 150.904 Special Use Review and Approval Procedures). The subject property is 32,626 square feet (PIN: 05-22-403-002) and is developed with 1,652 square-foot building and parking area.

EXISTING LAND USE ON SUBJECT PROPERTY AND ADJACENT PROPERTY:

Subject property: Former Sonic Drive-In

Adjacent property:

North and East: Row crop production

South: Commercial and Office buildings

West: Residential and Row crop production (County)

ZONING ON SUBJECT PROPERTY AND ADJACENT PROPERTY:

Subject property: PB, Planned Business District

Adjacent Property:

North and East: PB, Planned Business District

South: NO, Neighborhood Office District

East: Unincorporated Boone County

COMPREHENSIVE PLAN:

Subject property: Planned Business

Adjacent property:

North, West and East: Planned Business

South: Single Family Residential

BACKGROUND:

The property was annexed into the City of Belvidere in 2005. That same year, the Landmark Crossings Subdivision was platted. A replat involving the subject property was approved in 2009. Sonic Drive-In was granted a special use for a planned development in 2009 and constructed a drive-through restaurant. The restaurant was officially closed in 2015 and the property has been vacant since then.

The applicant intends to remodel the interior of the building and add five video gaming machines, a bar with seating and a small seating area in the front. The existing kitchen space is not intended to be utilized. Consumption of alcohol cannot occur outside on the outdoor patio without a special use for outdoor commercial entertainment (per Section 150.204(l)(11) of the Belvidere Zoning Ordinance).

The Zoning Ordinance was updated in 2006 requiring a special use for Indoor Commercial Entertainment. In 2013, Illinois State Law allowed municipalities to determine that video gaming would be permitted within their jurisdiction. The State limits the number of machines to five per establishment and every establishment must have a liquor license that allows for the pouring of alcohol (except for those that qualify as a truck stop). In 2013, Belvidere voted to allow video gaming and in 2018, the City Council voted to limit the number of gaming establishments to 30. This application would permit the 32nd establishment. Only 21 establishments, however, are in operation at this time, leaving 9 sets of licenses available.

TREND OF DEVELOPMENT:

The subject property is located on North State Street at the northern edge of Belvidere's Commercial District.

COMPREHENSIVE PLAN:

The subject property is designated as "Planned Business" by the City of Belvidere Comprehensive Plan, adopted July 15, 1999. The Planned Business map category encourages high quality indoor commercial, office and institutional land uses, with generous landscaping and limited signage.

FINDINGS OF FACT:

Per Section 150.904 (G) of the City of Belvidere Zoning Ordinance, the criteria for granting a Special Use Permit are as follows:

- A. Findings: The establishment, maintenance, or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

The building is less than 1,700 square feet, greatly limiting both the number of patrons that can occupy the building and the activities that can occur on-site. Due to the size of the building and its location at the corner of Van Epps Drive and North State Street, the planning staff does not anticipate large crowds, traffic or noise (music) occurring that would be disruptive to the neighborhood.

- B. Findings: The proposed special use, both its general use independent of its location and in its specific location, will be in harmony with the purposes, goals, objectives, policies, and standards of the City of Belvidere Comprehensive Plan, Section 150.904 of the Belvidere Zoning Ordinance and any other plan, program, or ordinance adopted, or under consideration pursuant to Notice of Public Hearing by the City.**

The Comprehensive Plan shows the property as planned business along with the majority of the adjacent properties. Food establishments, bars/taverns and arcades are considered appropriate uses in the planned business category. The planned business district encourages more high-end development with a stronger emphasis on aesthetics and landscaping. These factors had already been reviewed and met when the property was developed.

- C. **Findings:** The special use will not in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to Notice of Public Hearing by the City or governmental agency having jurisdiction to guide development.

The property is located in the commercial portion of the Landmark Crossings Subdivision and has frontage along North State Street. The property has adequate vehicle parking and circulation areas for a bar and video gaming establishment. The planning staff is not aware of any negative issues that the nearby commercial businesses (the nearest bar with video gaming is approximately 1,600 feet away) have caused the residents in Landmark Crossings or along North State Street. The special use will not lessen the property's level of compliance with the Comprehensive Plan; the site will be required to be in conformance with the requirements of the City of Belvidere's Zoning Ordinance.

- D. **Findings:** The establishment of the special use will not impede the normal and orderly development and improvement of surrounding property, and maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The planning staff is not aware of circumstances created by the installations of bars of this size or video gaming machines that would impede development and/or improvements to surrounding properties. The residential properties to the north were platted at the same time as the commercial properties along West Hills Boulevard and North State Street. The residences along North State Street have co-existed with various non-residential uses for decades. The use is not expected to generate a high volume of traffic or be noticed by those driving past the property.

- E. **Findings:** The proposed Special Use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvement facilities, utilities or services provided by public agencies servicing the subject property.

The subject property is developed and served with proper utilities.

- F. **Findings:** The potential public benefits of the proposed special use outweigh any and all potential adverse impacts of the proposed special use after taking into consideration the Applicant's proposal and any requirements recommended to ameliorate such impacts.

With only five machines available and limited bar space, the planning staff does not anticipate large crowds congregating at the property. In 2013, the City of Belvidere ruled that video gaming machines could locate within the city limits with a special use permit in the Planned Business District.

SUMMARY OF FINDINGS:

The building is less than 1,700 square feet, greatly limiting both the number of patrons that can occupy the building and the activities that can occur on-site. Due to the size of the building and its location at the corner of Van Epps Drive and North State Street, the planning staff does not anticipate large crowds, traffic or noise (music) occurring that would be disruptive to the neighborhood.

The property is located in the commercial portion of the Landmark Crossings Subdivision and has frontage along North State Street. The property has adequate vehicle parking and circulation areas for a bar and video gaming establishment. The planning staff is not aware of any negative issues that the nearby commercial businesses (the nearest bar with video gaming is approximately 1,600 feet away) have caused the residents in Landmark Crossings or along North State Street. The special use will not lessen the property's level of compliance with the Comprehensive Plan; the site will be required to be in conformance with the requirements of the City of Belvidere's Zoning Ordinance.

The planning staff is not aware of circumstances created by the installations of bars of this size or video gaming machines that would impede development and/or improvements to surrounding properties. The residential properties to the north were platted at the same time as the commercial properties along West Hills Boulevard and North State Street. The residences along North State Street have co-existed with various non-residential uses for decades. The use is not expected to generate a high volume of traffic or be noticed by those driving past the property.

RECOMMENDATION:

The planning staff recommends the **approval** of case number **2018-26** for a special use at 2195 North State Street subject to the following conditions:

1. Alcohol is prohibited outside the premises unless a special use permit for outdoor commercial entertainment is obtained.

Submitted by:

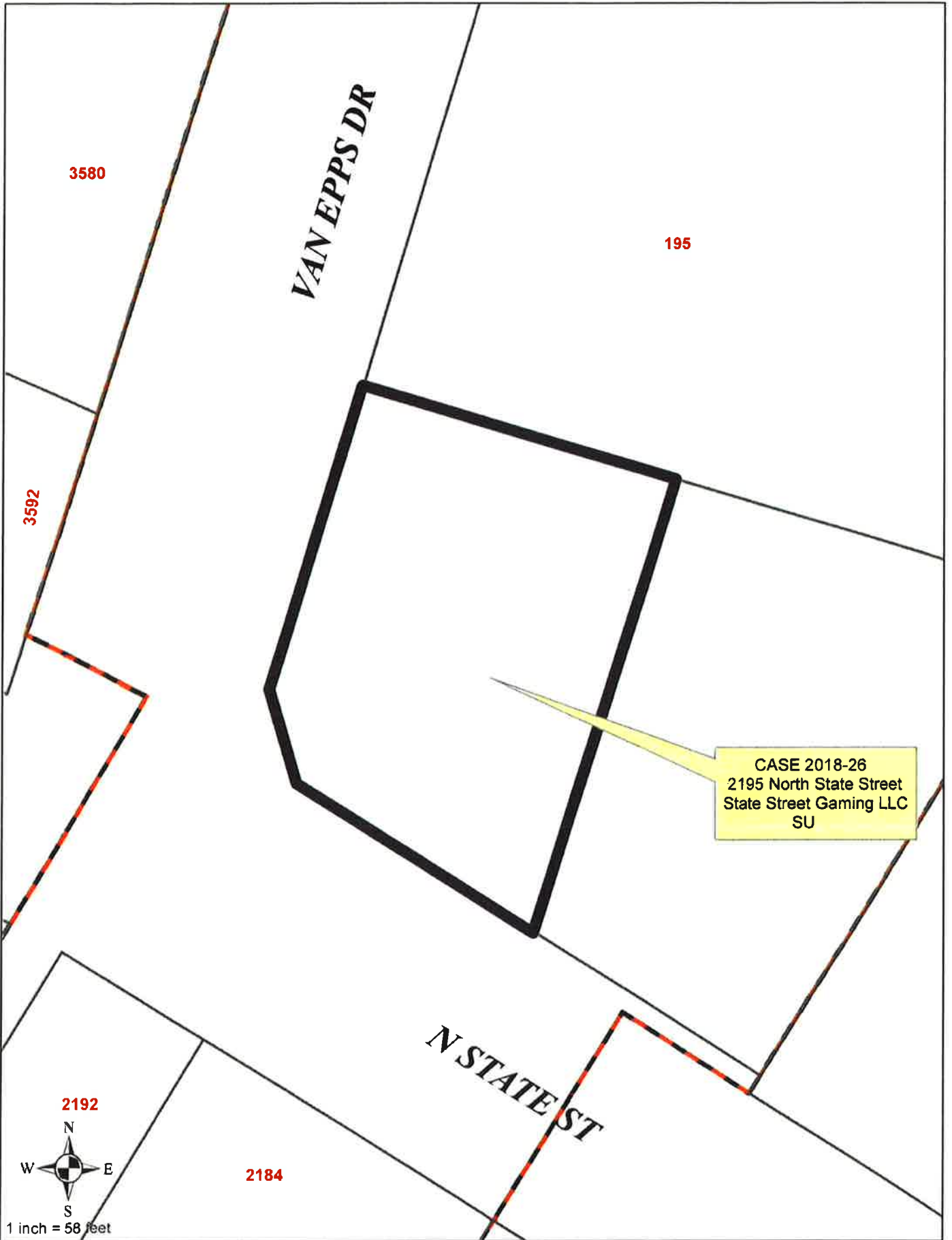

Gina DelRose
Community Development Planner

Review and Recommendation by the Planning and Zoning Commission. The Planning and Zoning Commission shall review the application, adopt findings of fact, and make a recommendation to the City Council.

Review and Action by the City Council. The City Council shall consider the Planning and Zoning Commission's recommendation regarding the proposed special use. The City Council may approve or deny the special use as originally proposed, may approve the proposed special use with modifications or may remand the matter back to the Planning and Zoning Commission for further discussion or hearing. The City Council's approval of the requested special use shall be considered the approval of a unique request, and shall not be construed as precedent for any other proposed special use.

ATTACHMENTS

1. Location Map by Planning Staff.
2. Aerial Photo with by Planning Staff.
3. Narrative submitted by Applicant.
4. Site plan submitted by Applicant.
5. Letter submitted by the Boone County Soil and Water Conservation District, Jennifer Becker, August 27, 2018.
6. Letter submitted by the Boone County Health Department, Amanda Mehl, August 27, 2018.



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VAN EPPS DR

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CASE 2018-26
2195 North State Street
State Street Gaming LLC
SU

N STATE ST

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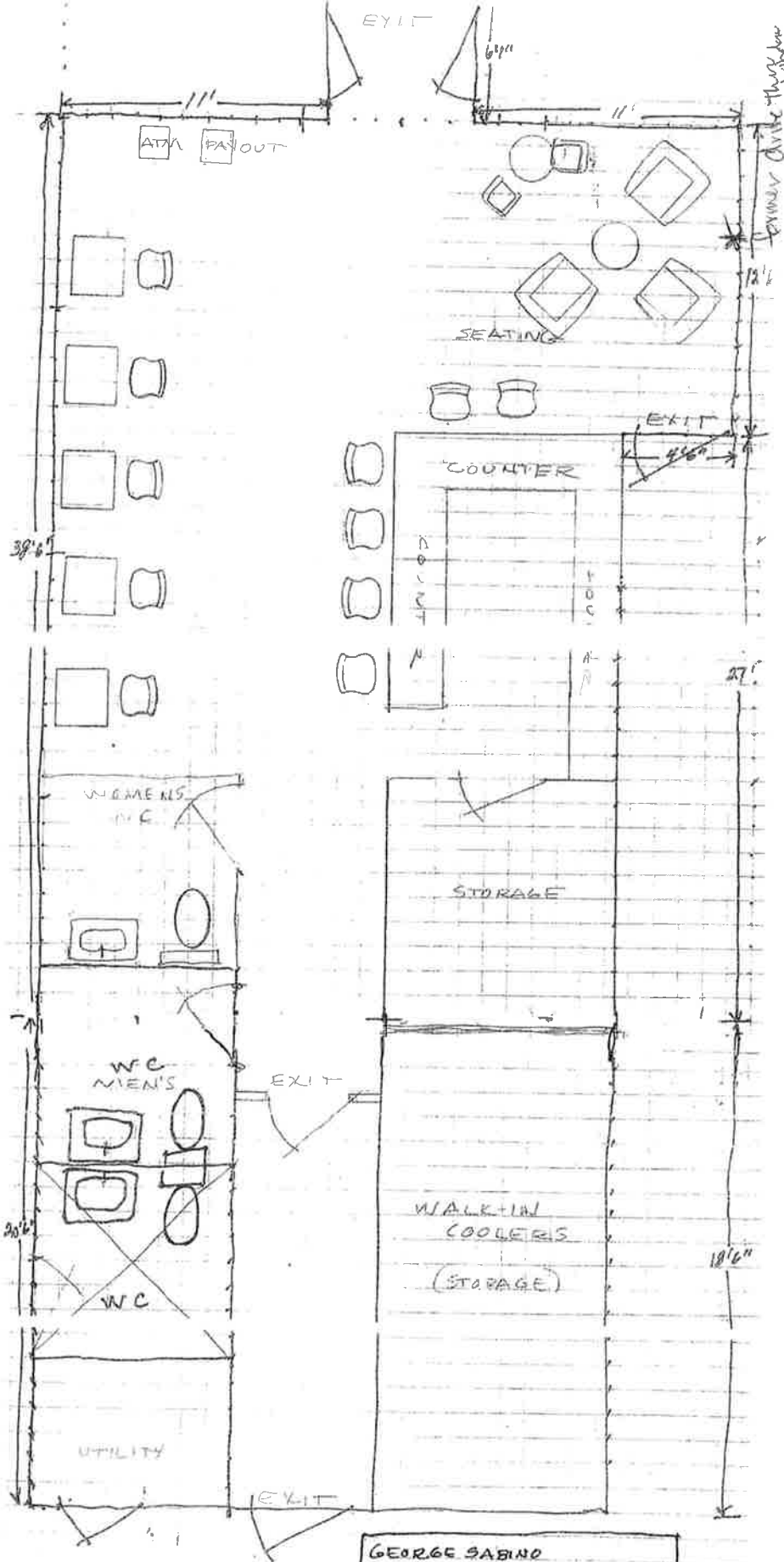
2184



1 inch = 47 feet

The atmosphere will be well maintained inviting to the Boone County/Belvidere clientele. Only prepackaged/premade foods will be served. No kitchen will be utilized in the preparation of food onsite. There are planned 5 game machines at this location. The hours of operation will match the liquor license sale allowances (it will not be open 24 hours). The style of the operation will be business casual – being a classy atmosphere welcoming to all patrons.

Handwritten signature
for application



GEORGE SABINO
 STATE ST. PROPERTIES LLC
 (APPLIED FOR)
 2195 N. STATE ST.
 BELVIDERE IL 61008
 (FORMER SONIC BUILDING)



**Boone County
Soil & Water
Conservation District**

211 N. Appleton Road
Belvidere, IL 61008
815-544-2677 ext. 3

27 August 2018

SWCD NRI #: 1600

Belvidere Planning Department
401 Whitney Blvd., Suite 300
Belvidere, IL 61008

Dear Sir/Madam,

A request for a Natural Resource Information Report was submitted. We will supply a written reply to you office as indicated below:

Our review does not apply in this instance.
 Other (see attached)

Location of Site: 2195 North State Street, Belvidere, Illinois 61008
PIN(S): 05-22-403-002

Contact	Petitioner	Owner
Nathan Noble 504 N. State Street Belvidere, IL 61008 815-547-7700	George Sabino 8859 Olson Road Belvidere, IL 61008 815-298-8898	State Street Gaming, Logan Avenue Properties, LLC 8859 Olson Road Belvidere, IL 61008 815-298-8898

Request: Special Use for indoor commercial entertainment/video gaming

Sincerely,

Jennifer Becker
Boone County Soil & Water
Conservation District

Re: Nathan Noble



Public Health
Prevent. Promote. Protect.

Boone County Health Department

1204 Logan Avenue, Belvidere, Illinois 61008
Main Office 815.544.2951 Clinic 815.544.9730 Fax 815.544.2050
www.boonehealth.org

The mission of the Boone County Health Department is to serve our community by preventing the spread of disease, promoting optimal wellness & protecting the public's health.

August 27, 2018

Gina Del Rose
City of Belvidere Community Development
401 Whitney Blvd., Suite 300
Belvidere, IL 61008

FAX 815-547-0789

Re: Case: 2018-26, State Street Gaming, LLC 2195 N. State Street

Dear Gina,

We are in receipt of the special use for indoor commercial entertainment to operate a bar/tavern with pool tables, arcade machines and video gaming request for the above referenced case. Our office has no objections or comments on this request. However, prior to operation of the center a to scale plan (of the layout of the store) and a food application must be submitted to the health department for review. The plan review fee would be determined when menu information is submitted. Below is the county code explaining this further.

Sec. 30-35. Submission and review of plans; permits.

- (a) *Generally*, whenever a food service establishment or retail food store is constructed or extensively remodeled and whenever an existing structure is converted to use as a food service establishment, properly prepared plans and specifications for such construction, remodeling, or conversion shall be submitted to the regulatory authority for review and approval before construction, remodeling, or conversion is begun. The plans and specifications shall indicate the proposed layout, arrangement, mechanical plans, construction materials of work areas, and the type and model of proposed fixed equipment and facilities.
- (b) *Permit required*. Any business or organization desiring to operate as a food service establishment or retail food establishment must have a current food service permit.
- (c) *Plans, inspection and approval*. Before issuing a food service permit to a new establishment, plans must be submitted to and approved by the health authority. Plans submitted for review must be accompanied by the appropriate plan review fee as listed in section 38-31.

RE: Case: 2018-26, State Street Gaming, LLC 2195 N. State Street
Date: 8/27/2018
Page 2 of 2

Food establishment classifications. All food service establishments or retail food establishments shall be categorized according to their type of operation, size of operation, and risk category of the food prepared and/or served and shall obtain a permit for the class of operation as hereinafter defined. The listing of various types of operation is not intended to be all inclusive, but typical and not limited to those mentioned. If a food establishment is not specifically listed, it shall be classified according to the class to which it most closely resembles.

- (1) ***High Risk Facility:*** is a food establishment that presents a high relative risk of causing foodborne illness based on the large number of food handling operations typically implicated in foodborne outbreaks and/or type of population served by the facility. The following criteria shall be used to classify facilities as Category I High Risk facilities:
 - a. whenever cooling of potentially hazardous foods occurs as part of the food handling operations at the facility;
 - b. when potentially hazardous foods are prepared hot or cold and held hot or cold for more than 12 hours before serving;
 - c. if potentially hazardous foods which have been previously cooked and cooled must be reheated;
 - d. when potentially hazardous foods are prepared for off-premises service for which time-temperature requirements during transportation, holding and service are relevant;
 - e. whenever complex preparation of foods, or extensive handling of raw ingredients with hand contact for ready to eat foods, occurs as a part of the food handling operations at the facility;
 - f. if vacuum packaging and/or other forms of reduced oxygen packaging are performed at the retail level; or
 - g. whenever serving immunocompromised individuals, where these individuals compromise the majority of the consuming population.
- (2) ***High Risk Multi-Department Facility:*** is a food establishment that presents a high relative risk of causing foodborne illness based on the large number of food handling operations typically implicated in foodborne outbreaks. These facilities have the same criteria as Category I High Risk facilities, and have 3 or more departments within their facilities which need inspection including but not limited to main grocery, bakery, deli, meat and seafood departments.

RE: Case: 2018-26, State Street Gaming, LLC 2195 N. State Street
Date: 8/27/18
Page 3 of 3

(3) *Medium Risk Facility*: is a food establishment that presents a medium risk of causing foodborne illness based upon a few food handling operations typically implicated in foodborne illness outbreaks. The following criteria shall be used to classify facilities as Category II Medium Risk facilities:

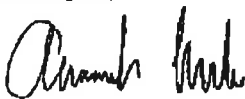
- a. if hot or cold foods are not maintained at that temperature for more than 12 hours and are restricted to same day service;
- b. if preparing foods for service from raw ingredients uses only minimal assembly; and
- c. foods served at an establishment that require complex preparation (whether canned, frozen, or fresh prepared) are obtained from an approved food processing plants, (high risk) food service establishments or retail food stores.

(4) *Low Risk Facility*: is a food establishment that presents a low relative risk of causing foodborne illness based on few or no food handling operations typically implicated in foodborne illness outbreaks. The following criteria shall be used to classify facilities as Category III Low Risk facilities:

- a. only prepackaged foods are available or served in the facility, and any potentially hazardous foods available are commercially pre-packaged in an approved food processing plant;
- b. only limited preparation of non-potentially hazardous foods and beverages, such as snack foods and carbonated beverages occurs at the facility; or
- c. only beverages (alcoholic and non-alcoholic) are served at the facility.

Please let us know if you have any questions or concerns

Thank you,



Amanda Mehl
Public Health Administrator
skm

MEMO

DATE: September 12, 2018
TO: Mayor and Members of the City Council
FROM: City of Belvidere Planning and Zoning Commission
SUBJECT: Findings of Fact for Case: 2018-26; 2195 North State Street

REQUEST AND LOCATION:

The applicant, State Street Gaming, LLC, 8859 Olson Road, Belvidere, IL 61008 on behalf of the property owner Logan Avenue Properties LLC, 8859 Olson Road, Belvidere, IL 61008 is requesting a special use for indoor commercial entertainment to operate a bar with video gaming at 2195 N. State Street within the PB, Planned Business District (Belvidere Zoning Ordinance Sections 150.105(C)(4)(B)(2) Indoor Commercial Entertainment and 150.904 Special Use Review and Approval Procedures). The subject property is 32,626 square feet (PIN: 05-22-403-002) and is developed with 1,652 square-foot building and parking area.

FINDINGS OF FACT:

Per Section 150.904 (G) of the City of Belvidere Zoning Ordinance, the criteria for granting a Special Use Permit are as follows:

- A. Findings: The establishment, maintenance, or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

The building is less than 1,700 square feet, greatly limiting both the number of patrons that can occupy the building and the activities that can occur on-site. Due to the size of the building and its location at the corner of Van Epps Drive and North State Street, the planning staff does not anticipate large crowds, traffic or noise (music) occurring that would be disruptive to the neighborhood.

- B. Findings: The proposed special use, both its general use independent of its location and in its specific location, will be in harmony with the purposes, goals, objectives, policies, and standards of the City of Belvidere Comprehensive Plan, Section 150.904 of the Belvidere Zoning Ordinance and any other plan, program, or ordinance adopted, or under consideration pursuant to Notice of Public Hearing by the City.**

The Comprehensive Plan shows the property as planned business along with the majority of the adjacent properties. Food establishments, bars/taverns and arcades are considered appropriate uses in the planned business category. The planned business district encourages more high-end development with a stronger emphasis on aesthetics and landscaping. These factors had already been reviewed and met when the property was developed.

- C. Findings: The special use will not in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters**

affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to Notice of Public Hearing by the City or governmental agency having jurisdiction to guide development.

The property is located in the commercial portion of the Landmark Crossings Subdivision and has frontage along North State Street. The property has adequate vehicle parking and circulation areas for a bar and video gaming establishment. The planning staff is not aware of any negative issues that the nearby commercial businesses (the nearest bar with video gaming is approximately 1,600 feet away) have caused the residents in Landmark Crossings or along North State Street. The special use will not lessen the property's level of compliance with the Comprehensive Plan; the site will be required to be in conformance with the requirements of the City of Belvidere's Zoning Ordinance.

- D. Findings:** The establishment of the special use will not impede the normal and orderly development and improvement of surrounding property, and maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The planning staff is not aware of circumstances created by the installations of bars of this size or video gaming machines that would impede development and/or improvements to surrounding properties. The residential properties to the north were platted at the same time as the commercial properties along West Hills Boulevard and North State Street. The residences along North State Street have co-existed with various non-residential uses for decades. The use is not expected to generate a high volume of traffic or be noticed by those driving past the property.

- E. Findings:** The proposed Special Use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvement facilities, utilities or services provided by public agencies servicing the subject property.

The subject property is developed and served with proper utilities.

- F. Findings:** The potential public benefits of the proposed special use outweigh any and all potential adverse impacts of the proposed special use after taking into consideration the Applicant's proposal and any requirements recommended to ameliorate such impacts.

With only five machines available and limited bar space, the planning staff does not anticipate large crowds congregating at the property. In 2013, the City of Belvidere ruled that video gaming machines could locate within the city limits with a special use permit in the Planned Business District.

The motion to adopt the Findings of Fact as presented by staff for case 2018-26 for a special use to permit indoor commercial entertainment in the PB, Planned Business District at 2195 North State Street carried with a (6-0) roll call vote.

Alissa Maher, Chairman
Belvidere Planning and Zoning Commission

RESOLUTION #2084-2018:
A RESOLUTION APPROVING AN EXTENSION FOR
EXPIRATION OF A SPECIAL USE (ORD. 273H)
PURSUANT TO SECTION 150.904(K)
OF THE CITY OF BELVIDERE MUNICIPAL CODE

WHEREAS, Jamal Chaudhary (Chaudhary), as owner of certain real property commonly known as 600 Logan Ave. Belvidere, IL (the Property) filed a request for approval of a special use planned development to allow the expansion and renovation of a gas station at that location; and

WHEREAS, the City approved Ordinance 273H (the Ordinance) on December 7, 2015 allowing for a planned development special use to operate a gas station on the Property and allowing for reconstruction of the gas station with deviations and conditions identified within the Ordinance; and

WHEREAS, Chaudhary did not complete construction development of the planned development as required by the Ordinance and did not receive an Occupancy Permit within 730 days of approval of the Ordinance as required by the City's Zoning Code; and

WHEREAS, Chaudhary requested an extension of time within which to complete construction of the planned development and the City Council of the City of Belvidere on January 16, 2018 granted an extension pursuant to Section 150.904(K) of the City of Belvidere Municipal Code through and including September 30, 2018; and

WHEREAS, Chaudhary has still not completed construction of the planned development and has requested a second continuance of the time in which to obtain an Occupancy Permit as required by Section 150.904(K); and

WHEREAS, the City Council of the City of Belvidere finds that, while they are not convinced that Chaudhary has worked diligently to complete the planned development special use nor obtain an Occupancy Permit, the best interests of the City of Belvidere will be served by a short extension of time to complete the planned development special use in order to avoid necessary litigation and preserve the possibility of a vibrant commercial endeavor within the City.

NOW, IT IS THEREFORE RESOLVED, by the Mayor and City Council of the City of Belvidere, Illinois as follows:

- 1) The foregoing recitals are hereby incorporated by this reference.
- 2) Pursuant to Section 150.904(K) of the City of Belvidere Municipal Code, the period within which to obtain an occupancy permit for the planned development special use, approved by Ordinance 273H, is extended through November 30, 2018 subject to the following conditions:
 - a) Chaudhary shall complete all work required by the site plans, building permits and other documents approved by the City of Belvidere, with the exception of installation of a canopy over the anticipated gasoline pumps, no later than October 31, 2018 and as confirmed by the City of

